

***PLANNING COMMITTEE
Regulatory Committee
Agenda***

Date Thursday 21 May 2020

Time 6.00 pm

Venue Virtual Meeting – click on the link below to access the meeting
https://www.oldham.gov.uk/info/200608/meetings/1940/live_council_meetings_online

Notes 1. DECLARATIONS OF INTEREST- If a Member requires any advice on any item involving a possible declaration of interest which could affect his/her ability to speak and/or vote he/she is advised to contact Paul Entwistle or Lori Hughes in advance of the meeting.

2. CONTACT OFFICER for this Agenda is Lori Hughes, email lori.hughes@oldham.gov.uk

3. PUBLIC SPEAKING – Any applicant or objector wishing to speak at this meeting must register to do so by email to constitutional.services@oldham.gov.uk by no later than 12.00 noon on Thursday, 21 May 2020. Full joining instructions will be provided.

4. PUBLIC QUESTIONS – Any member of the public wishing to ask a question at the above meeting can do so only if a written copy of the question is submitted to the Contact officer by 12 Noon on Monday, 18 May 2020. The question will be read out by the Chair and a response will be provided at the virtual meeting.

5. FILMING – This meeting will be recorded for live and/or subsequent broadcast on the Council's website. The whole of the meeting will be recorded, except where there are confidential or exempt items and the footage will be on our website. This activity promotes democratic engagement in accordance with section 100A(9) of the Local Government Act 1972. The cameras will focus on the proceedings of the meeting. As far as possible, this will avoid areas specifically designated for members of the public who prefer not to be filmed. Disruptive and anti social behaviour will always be filmed.

Recording and reporting the Council's meetings is subject to the law including the law of defamation, the Human Rights Act, the Data Protection Act and the law on public order offences.

MEMBERSHIP OF THE PLANNING COMMITTEE IS AS FOLLOWS:
Councillors Akhtar, Brownridge, Davis, H. Gloster, Harkness, Hewitt, Hudson, Phythian, Hulme, Ibrahim, Iqbal, Jacques, Malik and Dean (Chair)

- 1 Apologies For Absence
- 2 Urgent Business
Urgent business, if any, introduced by the Chair
- 3 Declarations of Interest
To Receive Declarations of Interest in any Contract or matter to be discussed at the meeting.
- 4 Public Question Time
To receive Questions from the Public, in accordance with the Council's Constitution.
- 5 HH/343092/20 - Running Hill Cottage, Running Hill Lane, Dobcross, OL3 5JS (Pages 1 - 22)
Extension of a two storey side and rear extension and a single storey side extension.
- 6 PA/344197/20 - Land at Moss Lynn, Stonebreaks Road, Springhead, OL4 4BY (Pages 23 - 44)
Proposed detached dwelling
- 7 PA/344412/20 - Alexandra Park Depot, Kings Road, Oldham, OL8 2BN (Pages 45 - 66)
Demolition of existing ancillary buildings and glasshouses with phased replacement of new facilities including erection of 2 storey office building (Use Class B1), new glasshouse structure (horticultural use), remodelling and extension of existing portal frame storage unit, hard and soft landscaping works and amended parking and servicing layout

APPLICATION REPORT - HH/343092/19

Planning Committee, 21 May, 2020

Registration Date: 21/03/2019
Ward: Saddleworth North

Application Reference: HH/343092/19
Type of Application: Full Planning Permission

Proposal: Extension of a two storey side and rear extension and a single storey side extension.

Location: Running Hill Cottage, Running Hill Lane, Dobcross, OL3 5JS
Case Officer: Hannah Lucitt

Applicant Mr Clay
Agent : Wildesign Ltd

This application was deferred at the Planning Committee meeting on 1 July 2019 to allow for the submission of further information on the permitted development 'fall-back' alternative; the design of the windows; and the claimed issues of water ingress to the existing property. Since that time further queries have been raised in relation to the extent of the authorised site curtilage, which has resulted in the deletion of the previously proposed garage from this application.

The report below has been amended to have regard to these factors.

THE SITE

Running Hill Cottage is a former Grade II listed building (now de-listed) dating from the mid-late 18th century which occupies an elevated position and forms part of a small nucleus of farms and cottages forming the wider hamlet of Running Hill Head. The footprint of this predominantly two storey stone dwelling includes a single storey cat slide roof section to the rear of the northernmost part of the house, which it is understood was added in the mid 1960s following the demolition of an earlier large wing in the early part of the 20th century. There is also a small single storey side addition which was probably added in the 19th century.

THE PROPOSAL

This application has been amended since submission and presently comprises a two storey side extension, which then projects beyond the rear wall of the original dwelling by 5m. This is attached to a further two storey extension which projects across approximately half of the rear elevation of the original dwelling, along with a small single storey boot room/ lobby extension to the side.

The proposed development would be externally clad in stone and slate to match the existing dwelling.

RELEVANT HISTORY OF THE SITE:

PREX/342132/18 - Single storey rear extension - Length: 8.0m maximum height: 4.0m Height to eaves: 2.5m' Prior Approval Required and Granted 05 Sep 2018. This permission expired on 30th May 2019.

CL/342211/18 - Certificate of lawfulness for a proposed detached garage and a single storey garden building forming gymnasium/games room. Granted 09th October 2018.

CL/342121/18 - Certificate of Lawfulness for 1) Reduce width of existing side / rear cat slide roof 2) demolish existing single storey side extension 3) erection of single storey side extension 3) Two storey rear extension. Granted 13th September 2018

RELEVANT PLANNING POLICY

The 'Development Plan' is the Joint Development Plan Document (DPD) which forms part of the Local Development Framework for Oldham. The application site is allocated within the Green Belt by the Proposals Map associated with this document.

The following policies are relevant to the determination of this application.

Policy 1 - Climate change and sustainable development;
Policy 9 - Local environment;
Policy 20 - Design;
Policy 22 - Protecting open land.

CONSULTATIONS

Highway Engineer No objection.

REPRESENTATIONS

This application was publicised by site notice and press notice. No representations have been received.

Saddleworth Parish Council recommend refusal on the grounds that *"The proposal represents disproportionate additions to the original building which is harmful to the openness of the Green Belt"*.

PLANNING CONSIDERATIONS

The main issues to consider are:

Green Belt policy;
Impact on residential amenity;
Design; and,
Highway safety and amenity.

Green Belt policy

DPD Policy 22 states that development in the Green Belt will be permitted so long as it does not conflict with national policies. In this respect, paragraph 145 of the NPPF sets out that development in the Green Belt is not inappropriate where, inter alia, it involves *"the extension or alteration of a building provided it does not result in disproportionate additions over and above the size of the original building"*. 'Original' is defined as existing on 1st July 1948.

Although the present building may have been historically larger, with a wing demolished in the early 20th century, at the designated time for assessment this appears to reflect the present main two-storey rectangular section of the building.

National guidance provides no definition of what constitutes disproportionate, although this is likely to have a quantitative/volumetric and a visual context.

Quantitative/ Volumetric comparison

There are significant difficulties in attempting a comparative assessment in this case. Firstly, in accurately setting the baseline of what constitutes the 'original' dwelling. Secondly, assessing the potential variations in 'permitted development' extensions.

In the scenario below, a generous approach has been taken which includes the whole of the main two-storey structure and the present single storey side addition in the 'original' building calculations. In doing so, whilst not strictly adhering to the NPPF definition, it recognises the existing scale of the building in the context that the third bay is likely to have replaced an earlier similar structure.

The original building therefore would amount to approximately 505 cu m. The non-original cat-slide roof section has already added a volume of approximately 74 cu m to that total. It should be noted that if the whole of the third bay was included as an extension, the 'original' volume would already have been exceeded by approximately 66%.

A previous application for a Certificate of Lawfulness for alternative development at this site (CL/342121/18), proposed the erection of a single storey side and two storey rear extension, with a reduction of the width of the existing side / rear cat slide roof, and the demolition of the existing single storey side extension. The single storey side extension in that case would project 3.5m to the side of the original dwelling, be 6.5m in length, measure 3m to the eaves and 4m to the roof ridge. The proposed two storey rear extension would project 3m from the rear of the original dwelling, be 8.4m in length, measure 4.5m to the eaves height and 6.4m to the roof ridge.

As originally submitted in the present application, the proposed two storey side and rear extension would project 6m from the rear of the existing dwelling (now reduced to a depth of 5m), and 3.6m from the side of the existing dwelling at the greatest width. It would measure 6.8m to the roof ridge.

The proposed single storey side extension would project 4m from the side of the existing building towards Running Hill Lane, and would measure 4m in width, 2.3m to the eaves height and 3.7m to the roof ridge.

In volumetric terms, the present proposal amounts to approximately 315 cu m (10.5m x 5m x 6m) additional volume. This compares to the fall-back which would permit a two storey extension to the rear of the original house of approximately 237 cu m (13.2m x 3m x 6m).

In addition, it is proposed to erect a two storey side extension projecting beyond the rear elevation. This amounts to approximately 226 cu m (10.5m x 3.6m x 6m), and compares to an existing volume of 34 cu m. Allowing for the proximity to the site boundary any fall-back would be limited to a single storey extension of approximately 92 cu m (6.6m x 4m x 3.5m), a maximum increase of approximately 134 cu m.

Finally it is proposed to erect a single storey extension to the opposite side elevation of approximately 48 cu m (4m x 4m x 3m). Again proximity to the authorised site boundary limits the scale of any fall-back to approximately 92 cu m.

Consequently, in these scenarios, the presently proposed extensions would add a volume of 556 cu m to the original dwelling compared to 421 cu m for the fall-back.

To add further complication, permitted development rights (subject to the prior approval regime) would allow a single storey rear extension behind both the original dwelling and the fall-back side extensions of 8m in depth, approximately 528 cu m of additional volume. However, this would be as an alternative to the aforementioned proposals and fall-back, i.e. it would need to have regard to all the other restrictions on permitted development rights. As there are so many potential variations which could incorporate this permitted development right, it is not possible to precisely calculate any of those myriad alternatives.

Whilst it is accepted that permitted development rights could add a significant amount of extensions, even allowing for the relaxed approach to the 'original' dwelling, the proposal clearly represents disproportionate quantitative additions.

Furthermore, whilst recent court decisions have held that the likelihood of a fall-back development being implemented is not decisive, the rights described above could, for

instance, create a ground floor building measuring 19.4m by 14.5m. Achieving useable and practical living accommodation in that space which would be difficult to secure if rooms were to receive satisfactory levels of light and ventilation.

Visual comparison

Whilst the quantitative comparison is complex, a visual comparison provides a more accessible approach to this assessment.

Comparative visuals showing both the previously approved lawful scheme and the present proposal will have been made available for members in the accompanying Presentation.

Again allowing for a relaxed approach to comparing original and proposed developments, the existing building has a simple, predominantly rectangular form, typical of vernacular buildings in the area. The proposed extensions will significantly add to the physical and visual presence of the building. This is most evident on the side elevations whereby that simple form will be replaced by a bulky addition, almost doubling the depth of the building, and due to the new tall roofscape, being far from subservient to the host building. The presence of non-traditional and prominent fenestration adds to its visual dominance.

This impression is equally reflected on the rear elevation whereby the simple form will be replaced by a pair of highly intrusive, large structures.

In this context, the extensions appear inarguably highly disproportionate, and therefore represent inappropriate development which is harmful to the Green Belt.

Members will note that the fall-back suggested in the Certificate of Lawfulness application would also disproportionately impact on the original building. However, the comparison again shows that the harm resulting from such intrusion would be notably far less than currently proposed.

Very special circumstances

Having regard to the demonstrated harm to the Green Belt by reason of inappropriateness, it is necessary for the applicant to demonstrate whether there are any very special circumstances which would outweigh such harm. Failing this, NPPF paragraph 143 is clear that the development should be refused.

The applicant has suggested that problems with water ingress would represent such a circumstance. Photographs have been submitted showing the existing problems associated with water ingress. Whilst these are noted, it remains unclear how the proposed extensions, in particular their extent, are directly related to the resolution of this problem, and therefore this issue carries very little weight in the determination process.

Design

DPD Policy 20 recognise the importance of achieving high quality design, whilst NPPF paragraph 130 stresses that permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area. The publication of the National Design Guide makes clear the importance government lays on achieving good design.

In response to comments raised at the last Planning Committee, the applicant has sought to amend the proposed window openings and reduce their scale to be more in keeping with that of the existing building. Whilst some reduction has taken place, the new windows remain out of scale with the established features, with a dominance of wide, full-height windows at both ground and first floor level.

The proposed extensions, through the scale and design, jar with the appearance and character of the existing building, and therefore, represent incongruous additions which are over-dominant and visually oppressive. The design therefore fails to have regard to the

objectives of both local and national planning policies.

Highway safety and amenity

The Highway Engineer has assessed the proposed development, and raises no objection is regards to the impact on highway safety and amenity. Similarly, there are no neighbouring properties in close proximity which would be adversely impacted by the proposed extension.

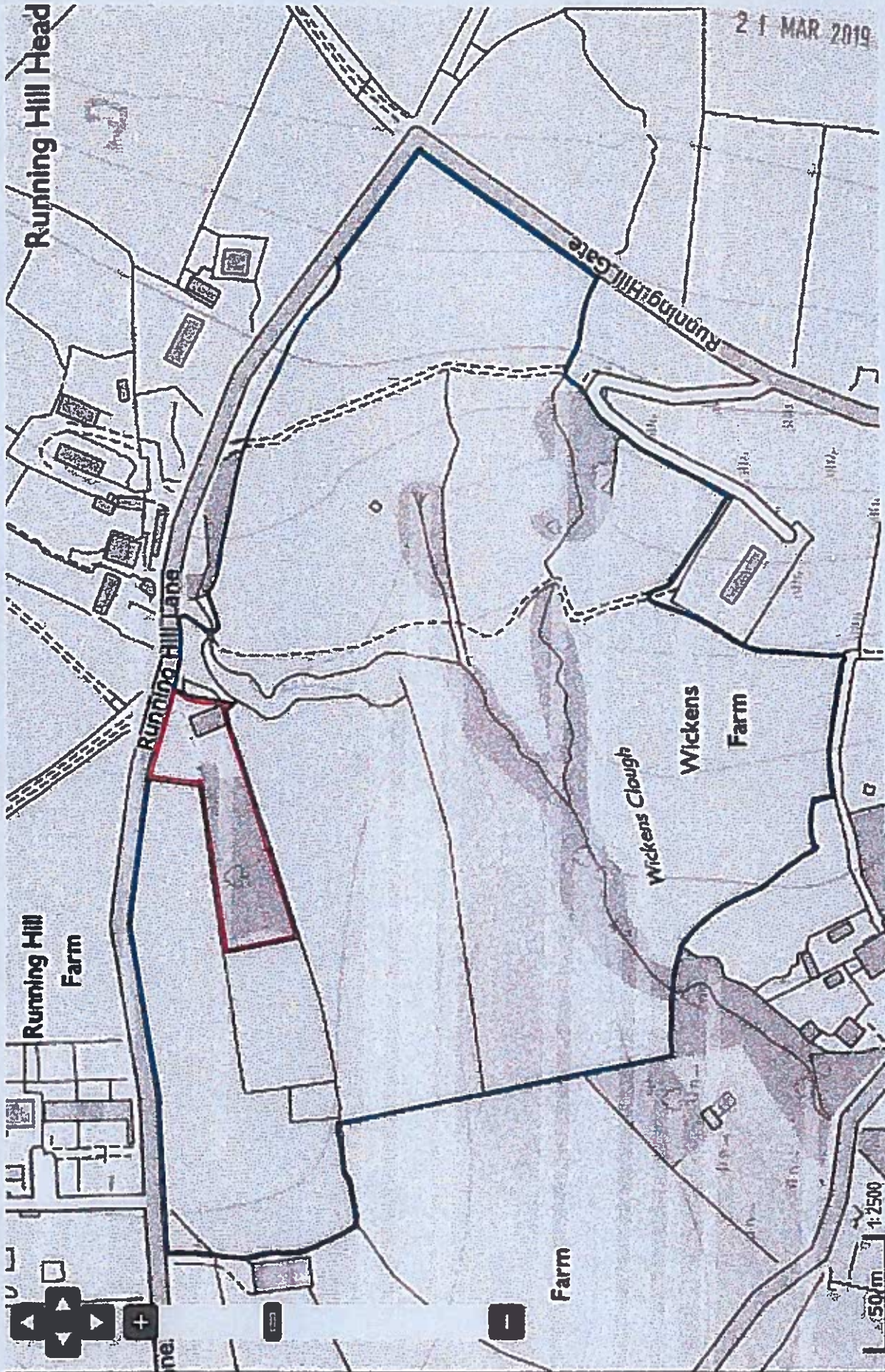
RECOMMENDATION

Refuse for the following reasons:

1. The proposed development represents disproportionate additions to the original dwelling and therefore comprises 'inappropriate development' which by definition is harmful to the Green Belt and should not be approved except in very special circumstances. No 'very special circumstances' have been demonstrated to outweigh the harm caused to the Green Belt. Therefore the proposals are contrary to Policies 1 and 22 of the Joint Development Plan Document forming part of the Local Development Framework for Oldham, and the guidance in paragraphs 143, 144 and 145 within the National Planning Policy Framework.
2. The proposed development involves the erection of substantial dominant extensions to the existing property which fail to have due regard to the scale and character of the building and its setting. The proposal is therefore contrary to the objectives of Policies 9 and 20 of the of the Joint Development Plan Document forming part of the Local Development Framework for Oldham, and Part 12 of the National Planning Policy Framework.

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21 MAR 2019



Planning Committee Meeting 21st May 2020

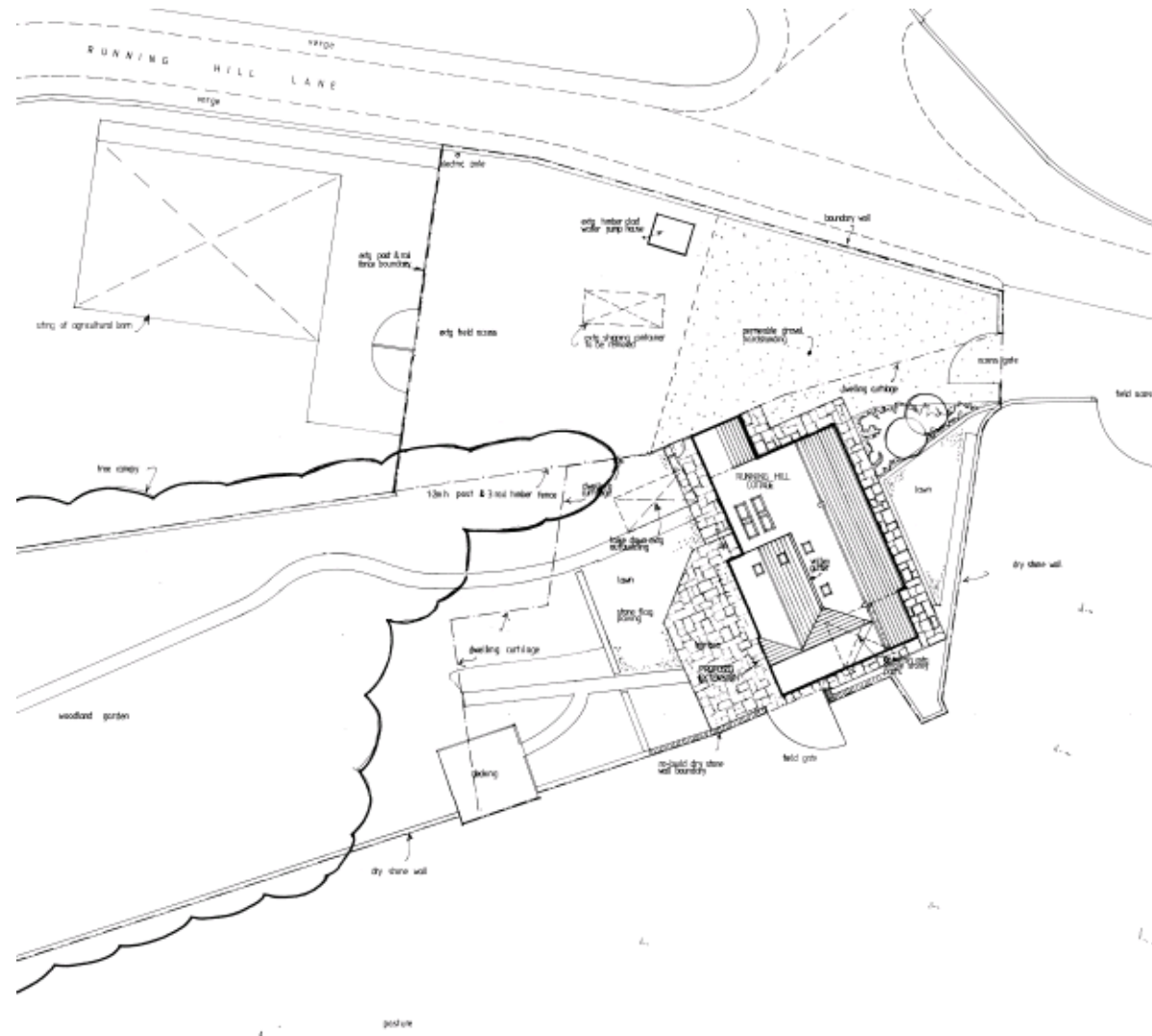
Extension of a two storey side and rear extension and a single storey side extension

Running Hill Cottage, Running Hill Lane, Dobcross,
OL3 5JS



Oldham
Council

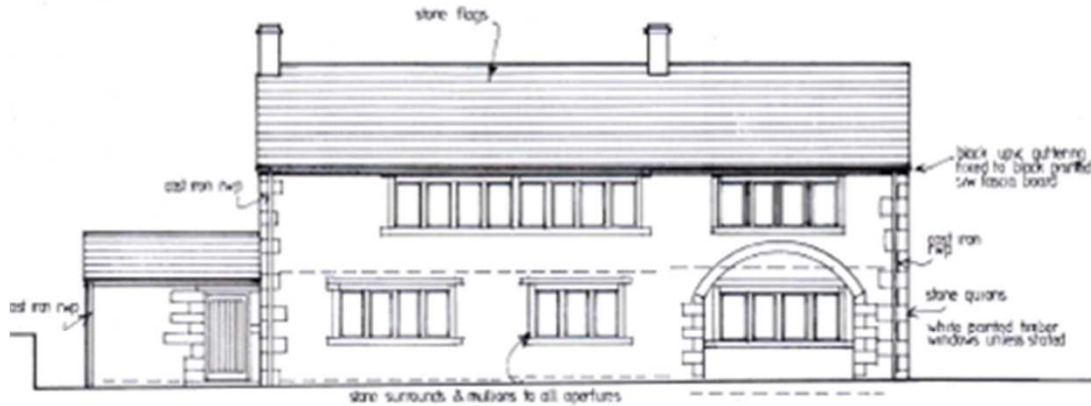
Proposed site plan



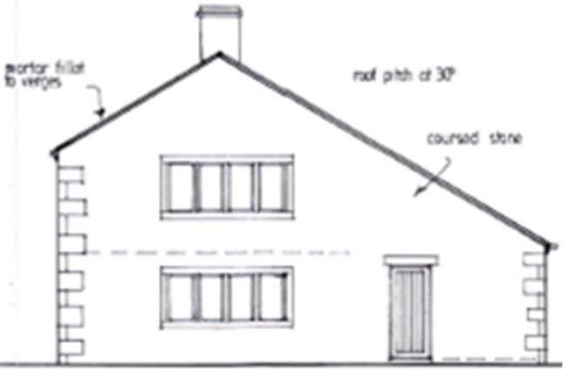
Aerial view of site location



Existing elevations



FRONT ELEVATION



SIDE ELEVATION

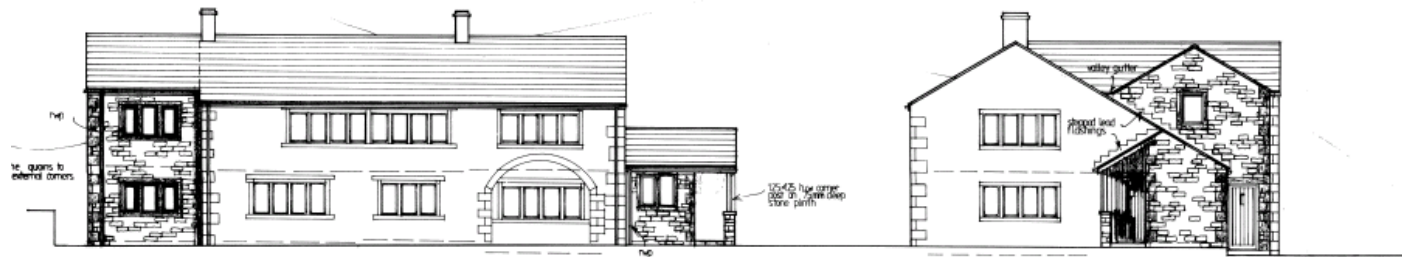


REAR ELEVATION



SIDE ELEVATION

Proposed elevations



FRONT ELEVATION

SIDE ELEVATION



REAR ELEVATION

SIDE ELEVATION

Site Photos – Front elevation



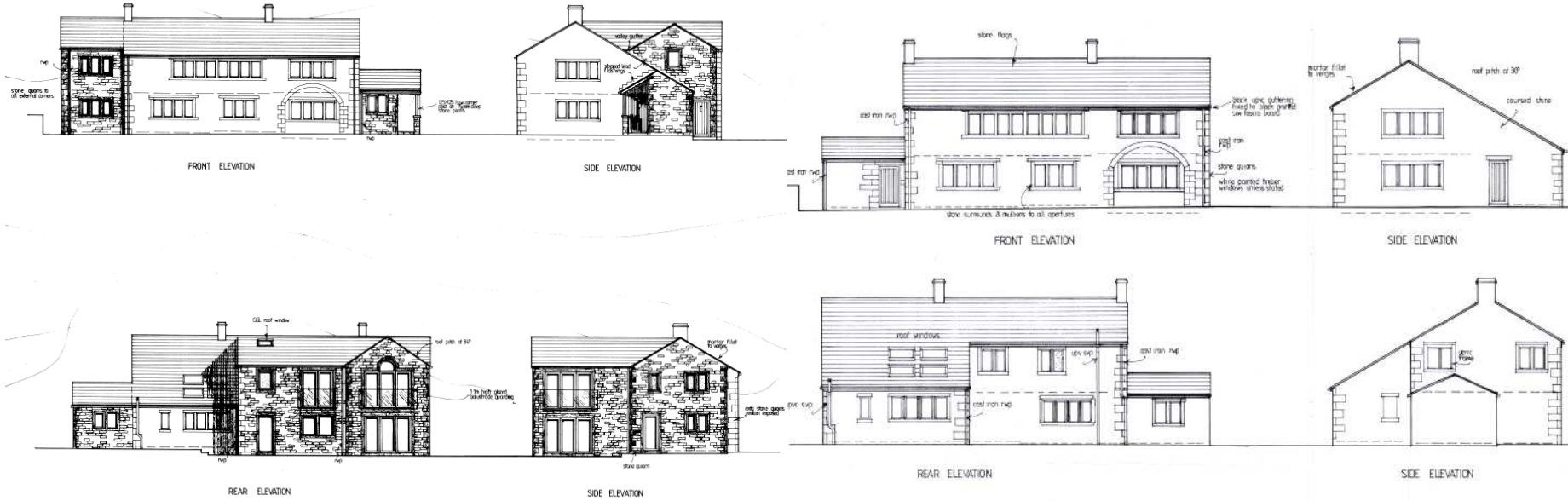
Site Photos – Side elevation



Site Photos – Rear elevation



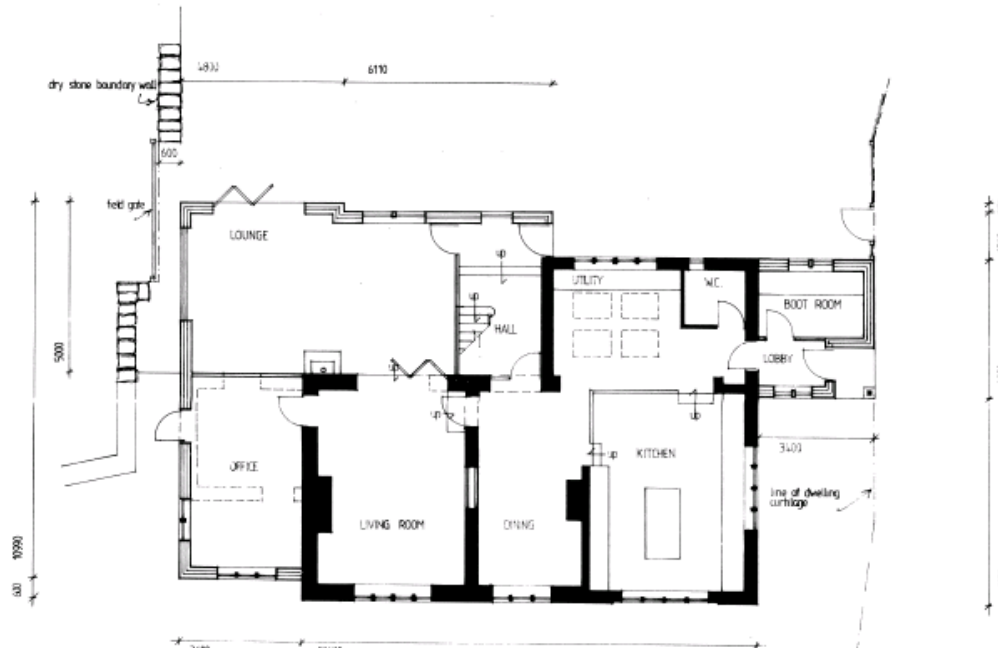
Comparison of proposed (left) and existing (right) elevations



Proposed floor plans



FIRST FLOOR PLAN

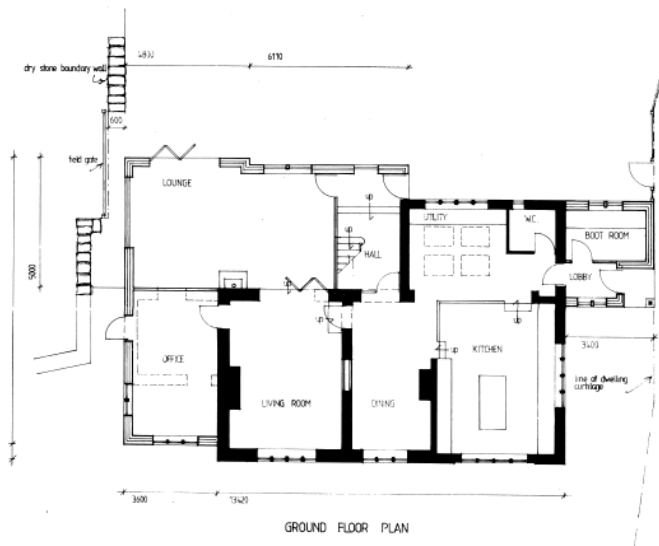


Comparison of proposed (left) and existing (right) floor plans

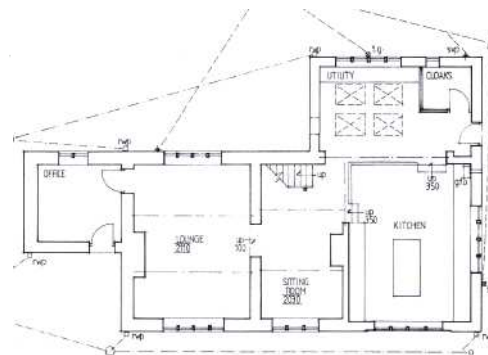
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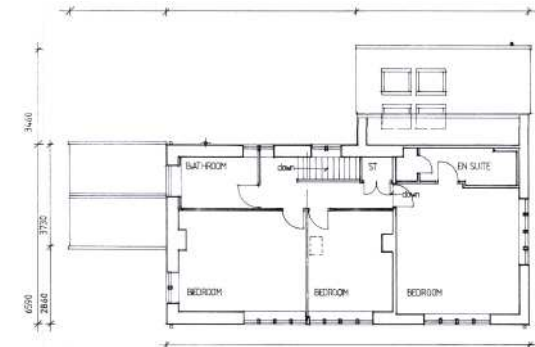
FIRST FLOOR PLAN



GROUND FLOOR PLAN



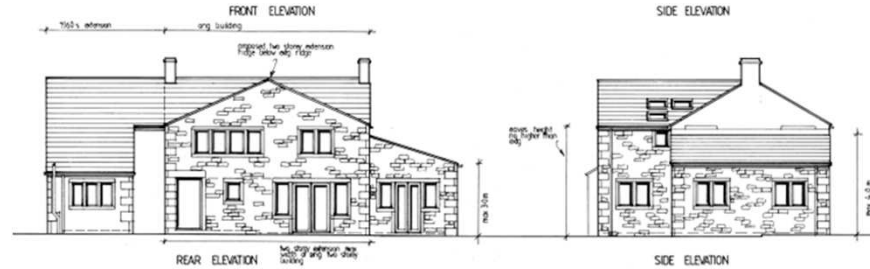
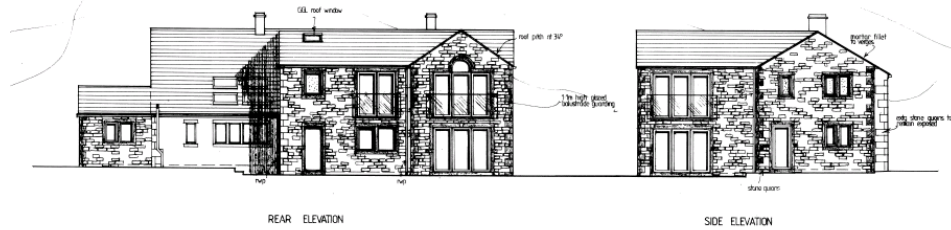
GROUND FLOOR PLAN



FIRST FLOOR PLAN

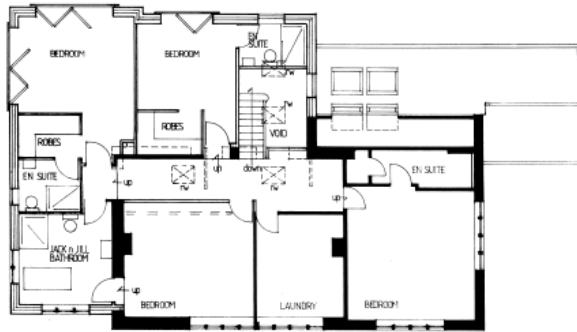
Comparison of proposed (left) and lawful fall-back (right) elevations

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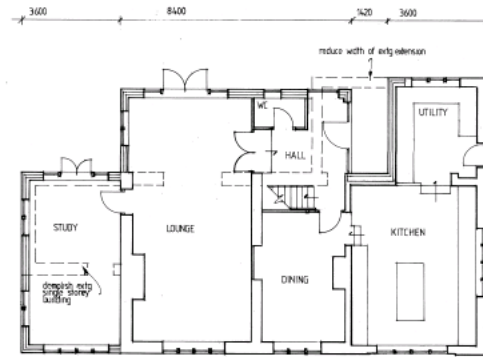


Comparison of proposed (left) and lawful fall-back (right) floor plans

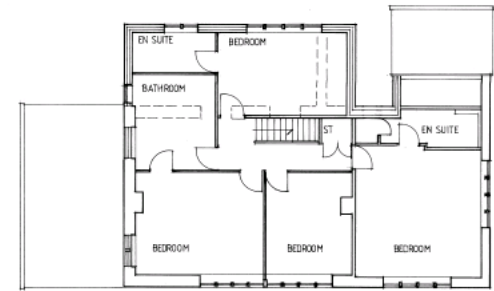
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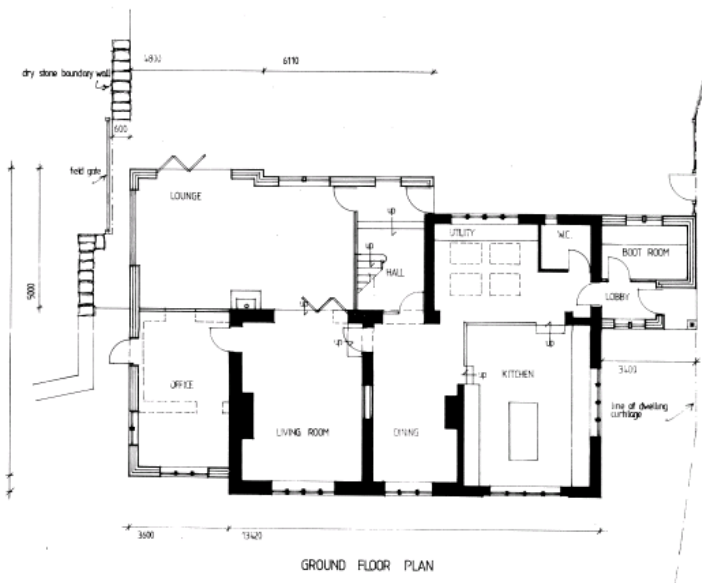
FIRST FLOOR PLAN



GROUND FLOOR PLAN



FIRST FLOOR PLAN



GROUND FLOOR PLAN



Proposed elevations



APPLICATION REPORT - PA/344197/19

Planning Committee, 21 May, 2020

Registration Date: 21/11/2019
Ward: Saddleworth West and Lees

Application Reference: PA/344197/19
Type of Application: Full Planning Permission

Proposal: Proposed detached dwelling
Location: Land at Moss Lynn, Stonebreaks Road, Springhead, OL4 4BY
Case Officer: Osian Perks

Applicant Mr Entwistle
Agent : M Jones Planning Consultancy

This application is presented to Committee at the request of Cllr Al-Hamdani due to its impact upon the significance of the Stonebreaks Conservation Area and nearby listed buildings.

THE SITE

This application relates to a presently undeveloped area of land located between Stonebreaks Road and Hillend in Springhead. The site is largely overgrown and steeply banked, sloping down towards Stonebreaks Road. A large hedgerow fronts the boundary shared with Stonebreaks Road.

The site is adjacent to No.15 Stonebreaks Road, which is situated at the lower level. On the opposite side of Stonebreaks Road is a row of terraced properties (No.6, No.8 and Ashlea)..

The site is located within the Stonebreaks Conservation Area which contains a mix of property styles and ages.

THE PROPOSAL

Planning permission is sought for the erection of a dwelling. It would front Hill End and would appear two storey at the rear and single storey at the front. It would be built with a dual pitched roof, faced in stone and would have 4 bedrooms.

A parking area will be provided on the north side of the building and a patio area will be provided to the rear facing Stonebreaks Road.

The proposal has been substantially amended since the initial submission in order to address concerns in respect of its design, visual and amenity impact.

RELEVANT PLANNING HISTORY

PA/049222/05 – Detached double garage. Approved 26/05/2005.

RELEVANT PLANNING POLICY

The application site is unallocated in the Local Plan (DPD). The following policies are relevant:

Policy 1: Climate Change and Sustainable Development

- Policy 2: Communities
- Policy 3: An Address of Choice
- Policy 5: Promoting Accessibility and Sustainable Transport Choices
- Policy 9: Local Environment
- Policy 11: Housing
- Policy 20: Design
- Policy 21: Protecting Natural Environmental Assets
- Policy 24: Historic Environment

REPRESENTATIONS

The application has been publicised by site notice; letters to neighbouring properties and a press notice. 10 objections have been received relating to 7 addresses and the following concerns have been raised:

- The development will have an overbearing impact upon and result in a loss of privacy to neighbouring properties.
- The development will result in additional water run off, draining and collecting in Stonebreaks Road.
- The development will put pressure on foul drainage systems.
- The development will increase demand for on street parking spaces.
- Due to its size, siting and design the proposed development will harm the character and setting of nearby listed buildings, historic buildings and the Conservation Area.
- The site is an important habitat for nesting birds including the Grasshopper Warbler.
- The site is not entirely within the applicant's ownership.
- Construction could result in a loss of a hedge and wall fronting Stonebreaks Road.
- The development will affect traffic as part of the site is used as an informal parking space.
- Residents pay for upkeep of adjacent roads. Additional traffic and construction traffic from the site could damage the road and residents should not pay for this.
- Large trucks relating to construction activity on the site would restrict traffic flow and access.

Saddleworth Parish Council object on the grounds that the proposal is prominent and will have an overbearing impact on Stonebreaks Road, detrimental to the character and appearance of the Conservation Area. It would also make it more difficult to resist further development on land to north, with potential cumulative adverse effect on the Conservation Area.

CONSULTATIONS

| | |
|---------------------------------|--|
| Highway Engineer | No objections subject to provision of the proposed parking area. |
| Environmental Health | No objections subject to landfill gas and contamination conditions. |
| Drainage | No objections subject to submission of a drainage plan. |
| Trees Officer | No objections subject to conditions to protect existing trees. |
| Greater Manchester Ecology Unit | No objections subject to biodiversity gains and treatment of invasive species. |

PLANNING CONSIDERATIONS

Main issues to consider are:

- Principle of Development
- Residential Amenity
- Visual Amenity
- Impact upon Heritage Assets
- Drainage

- Trees and Ecology
- Highway Safety
- Other Issues

Principle of Development

The Council cannot currently demonstrate a five-year supply of deliverable housing land. Paragraph 11d) of the National Planning Policy Framework states that where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, planning permission should be granted unless:

- The application of policies in the Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or
- Any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework taken as a whole.

Given the present Housing Land Supply position, DPD Policies relating to housing are considered out-of-date and so afforded less weight in the 'tilted balance'.

In this regard, whilst DPD Policy 3 notes that allocated sites are considered preferable locations for development and the use of previously developed land and vacant or underused buildings is the council's first preference for residential developments, in the absence of a 5 year supply, development of small scale unallocated sites can be supported where the benefits outweigh any significant identified harm.

DPD Policies 1 and 5 aim to guide development to the most accessible locations and promote and encourage sustainable transport methods. Policy 5 states that as a minimum, new minor development should achieve 'low accessibility' 'within approximately 400 metres of a bus route with a service, or combination of services...'. The proposed development would be sited approximate 390m from the nearest bus route for the 418 bus. As such it is considered that the development would accord with DPD Policies 1 and 5.

In this context, the principle of residential development on the site is deemed acceptable.

Residential Amenity

DPD policy 9 seeks to protect the amenities of the occupants of residential properties by ensuring adequate outlook, levels of natural light and privacy.

The neighbouring property at No.15 Stonebreaks Road has a roof light and a small window within the centre of its rear elevation which would be visible from the proposed dwelling. Whilst there would be some views to the rear amenity space of 15 Stonebreaks Road, subject to obscured glazing of the side facing window and screening from the side elevation of the patio the loss of privacy would not be so severe as to warrant the refusal of this application.

The proposed dwelling would be sited at an elevated position in relation to the terraced properties fronting Stonebreaks Road at No.6, No.8 and Ashlea. Consequently, there may be some overlooking, in particular towards front facing bedroom windows, whilst the relative elevation of the proposed dwelling would increase a perception of overlooking.

However, given a separation distance of 22 metres, the relative off-set position of the properties, and the fact that the primary living accommodation windows and amenity space of the neighbouring houses is situated on the opposite elevation, it is considered that there would not be a significant loss of privacy.

Excavation works will need to be carried out during the construction phase and this could cause significant disturbance to neighbouring occupiers. To protect the amenities of neighbouring properties, it is considered that a condition should be attached to any subsequent grant of permission requiring a scheme for protecting the nearby properties from noise and vibration from demolition/construction works.

In light of the above, it is considered that the erection of the proposed development would not have an unacceptable amenity impact.

Visual Amenity

DPD Policy 9 states that it is necessary to consider how a proposed development impacts visual appearance. DPD Policy 20 requires development to reflect the character of the area in which the development is taking place, reinforcing local identity.

The wider area of Springhead within which the development is sited is defined by a mix of property designs and ages. The proposal will incorporate a style and material finishes reflective of the local vernacular which would be appropriate to its setting.

When viewed from Stonebreaks Road, the proposed dwelling will be largely obscured by existing high hedging along its boundary.

Given its position on a steeply sloping site, the proposed dwelling would be visible from distant vantage points to the east. However, as noted above, the local area is characterised by a mix of properties and this is further reflected in varying levels on the hillside.

In light of the above, it is considered that the proposal would accord with the visual amenity aims of DPD Policies 9 and 20.

Impact upon Heritage Assets

Sections 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires special attention to be paid to the desirability of preserving or enhancing the character or appearance of a conservation area and the setting of a listed building.

There are three Grade II Listed buildings The Nook, Hillend; 11 Stonebreaks Road;, and 7 and 9 Stonebreaks Road at a distance of 32m, 40m and 57.3m to the south of the site, respectively. Views from the site to these properties (and vice versa) are disrupted by intervening buildings. Due to this and the considerable distance of separation, it is considered that the proposed development would not have an adverse impact upon the architectural and historic significance of these properties.

Stonebreaks Conservation Area is a small hamlet, the heart of which is a group of houses, including the aforementioned listed buildings, located to the south of the application site. As noted above, the direct environs of the application site contain a mix of buildings, styles, ages, and settings. It is considered that in this context, the development would have less than substantial harm on the Conservation Area.

NPPF paragraph 194 states that any harm to, or loss of, the significance of a designated heritage asset should require clear and convincing justification. NPPF paragraph 196 states that where development proposals will lead to less than substantial harm to the significance of designated heritage assets, this harm should be weighed against the public benefit of the proposal.

This limited harm is weighed against the public benefit of providing an additional dwelling on a site within a sustainable location and provides appropriate justification for the development.

Drainage

In respect of concerns about surface water run-off from the site, no objections have been raised by the Council's drainage team or United Utilities, and there is no evidence that a satisfactory scheme of drainage could not be achieved as an integral part of the development. A condition requiring the full details of the method of drainage will need to be submitted for approval before the commencement of development.

Trees and Ecology

An ecology report which has been undertaken by a suitably qualified ecologist accompanies the application. It has identified that none of the trees which are due to be removed to accommodate the development have potential roost features for bats and the trees and vegetation on site could potentially support breeding birds. Invasive species, Japanese knotweed and Himalayan balsam, are also identified on site.

The Greater Manchester Ecology is supportive of the proposed integration of bird/bat boxes in to the property. The unit has raised no objections subject to appropriate conditions.

The Tree Officer has no objection to the proposed development subject to conditions. To ensure that the hedging adjoining Stonebreaks Road and established trees on and near the site which are not due to be removed are not adversely affected by the development, it is considered that a scheme detailing how these will be protected during construction can be secured through the attachment of a pre-commencement condition.

Highway Safety

DPD Policy 9 indicates that development should protect and improve local environmental quality and amenity by ensuring that development will minimise traffic levels and do not harm the safety of road users. Paragraph 109 of the NPPF states:

'Development should only be prevented or refused on highway grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.'

The plans indicate that there would be two parking spaces on the site. The Highways Officer considers that this would provide adequate parking provision for the occupants of the dwelling.

Part of the site is currently used as an informal parking space for nearby properties, however, the site is in private ownership, and the Local Authority would have no control over ensuring that this arrangement is maintained. Consequently, its loss would not represent a valid objection to the development.

Whilst the development would reduce off-street parking for the occupiers of Moss Lynn, this property has a gated access and garage on land adjacent to it which is considered to provide sufficient parking space.

Given the likely low traffic on this road it is not considered that the development would have a severe impact upon the Highway network.

Other Issues

Whilst there will inevitably be some disturbance during any development, this would not justify refusal of the proposal. Whilst the road is owned and maintained by local residents, the planning process cannot be used as a method to procure payment from any future occupant of the proposed development.

Concern has been raised that part of the site is within Council ownership. The applicant has submitted sufficient evidence to demonstrate that the site is within their ownership.

Conclusion

The proposal will create an additional dwelling in a sustainable location which can be satisfactorily accommodated on the site. Taking into account the Council's housing land supply position, it is considered that the planning balance weighs in favour of the development.

RECOMMENDATION:

Approve subject to conditions:

1. The development must be begun not later than the expiry of THREE years beginning with the date of this permission.

Reason - To comply with the provisions of Section 51 of the Planning and Compulsory Purchase Act 2004.

2. The development hereby approved shall be fully implemented in accordance with the following plans:

- Proposed Site Plan (Drawing Number P-02 Rev A)
- Floor plans & roof plan as proposed (Drawing Number P-03)
- Elevations as Proposed (Drawing Number: P-04)
- External works details (Drawing Number P-05 Rev A)
- Elevations as Proposed – Indicating positions of required Bat and Sparrow nesting boxes (Drawing Number: P-06)
- Bat box/ sparrow box details

Reason - For the avoidance of doubt and to ensure that the development is carried out in accordance with the approved plans and specifications.

3. No development comprising the erection of any external walls shall take place until samples of the materials to be used in the construction of those external surfaces of the development, including any retaining walls and the roof, have been submitted to and approved in writing by the Local Planning Authority. The Development shall be carried out in accordance with the approved details. The materials to be used throughout the development shall be consistent in terms of colour, size and texture with the approved details.

Reason - To ensure that the appearance of the development is acceptable in the interests of the visual amenity of the area having regard to Policy 20 of the Oldham Local Plan.

4. The dwelling shall not be occupied until the access to the site and car parking space for that dwelling has been provided in accordance with the approved plan Drawing Number P-02 Rev A and the details of construction, levels and drainage, which shall have been submitted to and approved in writing by the Local Planning Authority prior to the commencement of the construction of the access and parking spaces. Thereafter the parking spaces and turning area shall not be used for any purpose other than the parking and manoeuvring of vehicles.

Reason - To ensure adequate off-street parking facilities are provided and remain available for the development so that parking does not take place on the highway to the detriment of highway safety having regard to Policies 5 and 9 of the Oldham Local Plan.

5. No development shall commence unless and until a detailed drainage scheme, including surface water discharge, has been submitted to and approved in writing by the Local Planning authority. The scheme shall then be completed in accordance with

the approved plans and maintained thereafter.

Reason - Prior approval of such details is necessary since they are fundamental to the initial site preparation works and to ensure that the site is satisfactorily drained having regard to Policy 19 of the Oldham Local Plan.

6. No development comprising any alterations to existing site levels shall commence until a scheme for protecting the nearby properties from noise and vibration from demolition/construction works has been submitted to and approved in writing by the local planning authority. The scheme shall include details of:

- Hours of operation;
- Working methods;
- Details of plant to be used;
- Details of how noise and vibration will be controlled;
- A schedule of works.

Reason - Prior approval of such details is necessary since they are fundamental to the initial site preparation works and to safeguard the amenities of the adjoining premises and the area having regard to Policy 9 of the Oldham Local Plan.

7. No development shall commence unless and until a site investigation and assessment to identify the extent of land contamination has been carried out and the consultant's report and recommendations have been submitted to and approved in writing by the Local Planning Authority. Written approval from the Local Planning Authority will be required for any necessary programmed remedial measures and, on receipt of a satisfactory completion report, to discharge the condition.

Reason - Prior approval of such details is necessary as they are fundamental to the initial site preparation works and in order to protect public safety having regard to Policy 9 of the Oldham Local Plan.

8. All planting shall be implemented in accordance with both the approved details as indicated on plan references P-02 Rev A and P-05 Rev 5, and with a detailed specification of the proposed hedge which shall be submitted prior to its implementation. The planting works shall be undertaken in the first available planting season either prior to or following the completion of the development, or such longer period which has previously been approved in writing by the Local Planning Authority and shall be maintained for a period of 5 years from the agreed date of planting. Any trees or plants which die, become diseased, or are removed during the maintenance period shall be replaced with specimens of an equivalent species and size.

Reason - To ensure that the development site is landscaped to an acceptable standard in the interests of protecting the visual amenity and character of the site and its surroundings in accordance with Policies 9, 20, 21 of the Oldham Local Plan.

9. No works shall take place, including site clearance, excavation or construction works or the entry of vehicles or plant into the site, until details showing how all existing retained trees and hedges on and adjacent to the site, other than those indicated for removal on the approved plans, has been submitted to and approved in writing by the Local Planning Authority. The development shall be implemented in full accordance with the approved details.

Reason - Prior approval of such details is necessary to protect existing trees and hedges having regard to saved Policy D1.5 of the Unitary Development Plan.

10. No development shall commence unless and until a site investigation and assessment in relation to the landfill gas risk has been carried out and the consultant's written report and recommendation have been submitted to and approved by the Local Planning Authority. Written approval from the Local Planning Authority will be required for any necessary programmed remedial measures and, on receipt of a satisfactory completion report, to discharge the condition.

Reason - Prior approval of such details is necessary as they are fundamental to the initial site preparation works and in order to protect public safety having regard to Policy 9 of the Oldham Local Plan.

11. No development shall take place until a scheme to control and prevent the spread of Himalayan balsam and Japanese knotweed is submitted to the LPA for approval. Once approved in full the scheme should be implemented in full.

Reason - Prior approval of such details is necessary as they are fundamental to the initial site preparation works having regard to Policy 9 of the Oldham Local Plan.

12. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended), or any Order revoking, re-enacting or modifying that Order, no extensions, buildings, structures, gates, fences or walls shall be erected within the curtilage of the dwelling hereby approved under Schedule 2, Part 1, Classes A, B, C and E or Schedule 2, Part 2, Class A of the above Order except with the express permission of the Local Planning Authority.

Reason - To ensure a satisfactory visual appearance; to protect the appearance and character of the Conservation Area and to ensure an adequate standard of amenity in accordance with Policies 9, 20 and 24 of the Oldham Local Plan.

13. The proposed window shown in the south facing gable wall shall be permanently constructed as fixed lights and provided with and permanently glazed in obscure glazing to a minimum of level 3 on the Pilkington scale. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and re-enacting that Order with or without modification), no additional windows or other openings shall be formed in that elevation without the prior written approval of the Local Planning Authority.

Reason - To protect the amenity of occupiers of neighbouring property having regard to Policy 9 of the Oldham Local Plan.

14. The dwelling hereby approved shall not be occupied until a solid screen to a minimum height above patio level of 1.7m has been installed alongside the south facing side of the patio. The screen shall be retained at all times thereafter.

Reason - To protect the amenity of occupiers of nearby property having regard to Policy 9 of the Oldham Local Plan.

34107

Having first had the site inspected and the boundaries of the proposed site established, the following information is given for the purpose of the site plan. The site is bounded by Stonebreaks Road to the north, Unkame Road to the east, and Stone Wall to the south. The site is bounded by Stone Wall to the south. The site is bounded by Stone Wall to the south.



Location Plan
Scale @ 1:250

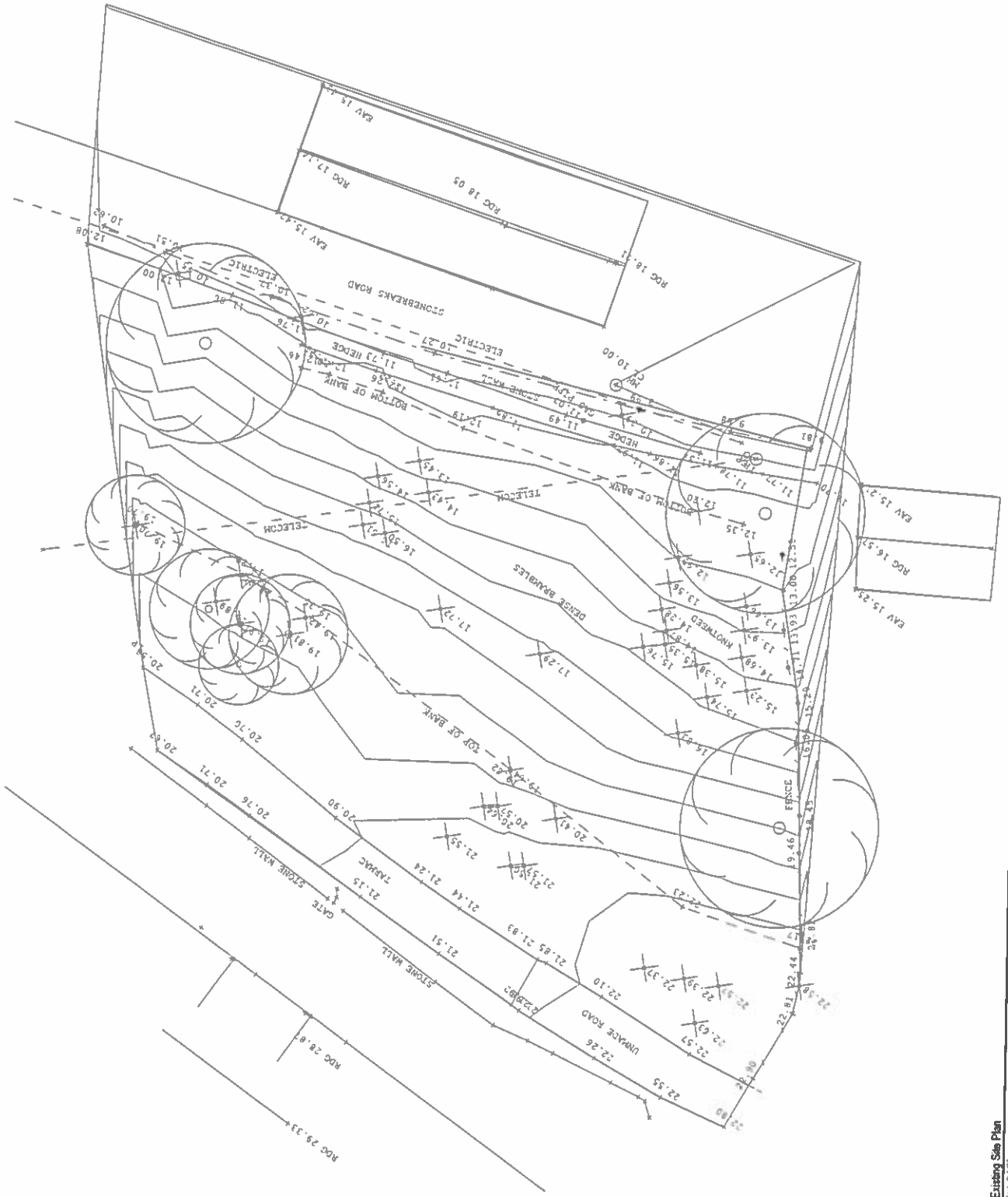
No. Date Description Issued by

Mr. John Entwistle
LAND TO REAR OF MOSS LYNN,
SPRINGHEAD, OLDHAM
PROPOSED DWELLING

LOCATION PLAN & EXISTING
SITE PLAN

Project Number: P-01
Drawing Number: 2/20/2008
Scale: 1:250
Drawn by: JAW
Checked by: JAW

STUDIO 013
ARCHITECTURAL DESIGN
Unit 23 Brookway Business Park, Brookside, Oldham, Greater Manchester, M20 2JN
Email: design@studio013.co.uk Web: www.studio013.co.uk



Existing Site Plan
Scale @ 1:250

Planning Committee Meeting 21st May 2020

Erection of one detached dwelling

Land at Moss Lynn, Stonebreaks Road, Springhead
OL4 4BY

Application No. PA/344197/19

Location Plan and Aerial view

Page 34



Location Plan

Scale: 1:1000



Aerial view with relationship to adjacent properties

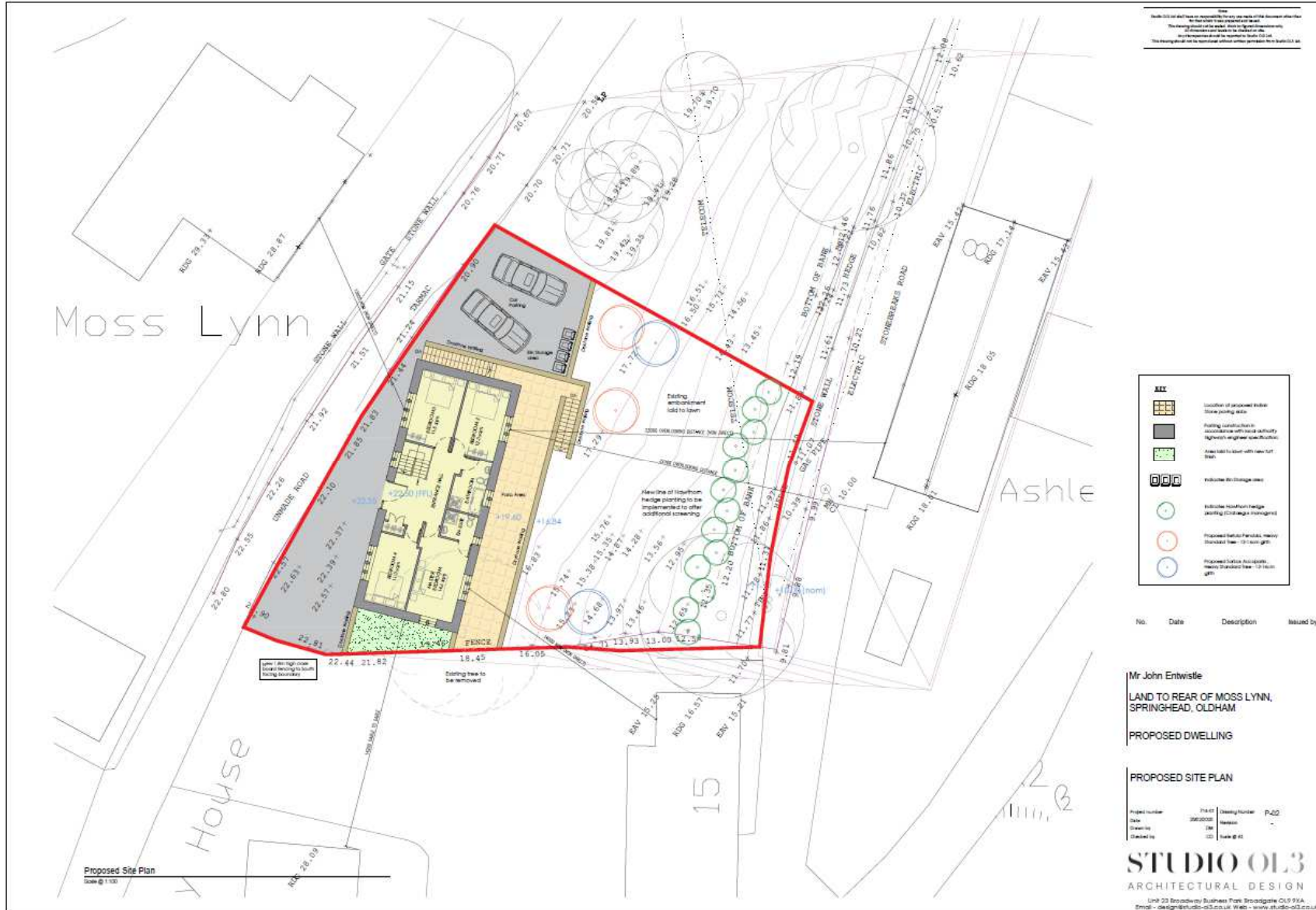


Views of Hill End

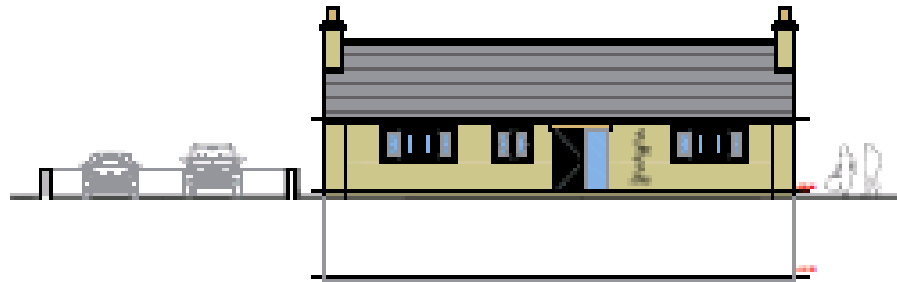
Page 36



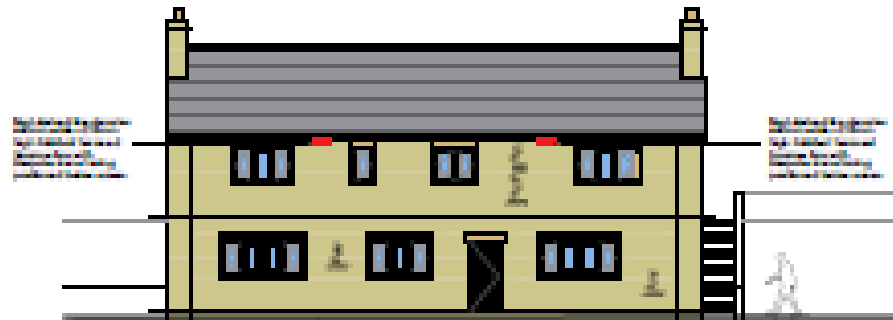
Site Plan



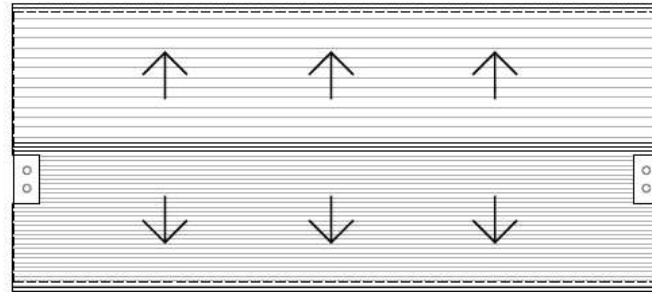
Proposed elevations



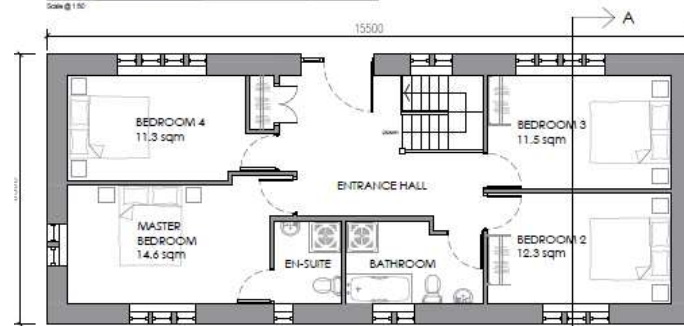
East Facing Elevation as Proposed
1/1/20



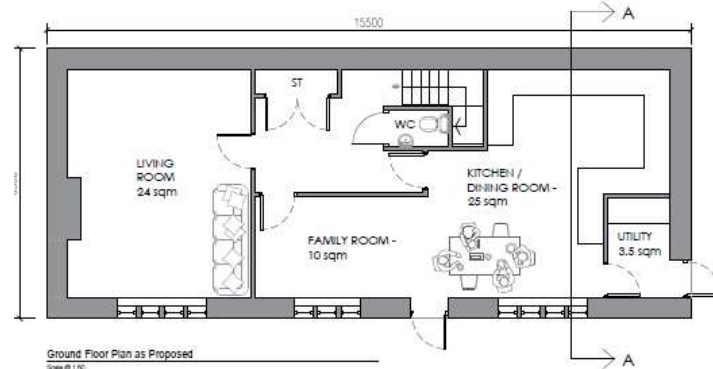
Floor Plans and Roof Plan



Roof Plan as Proposed
Scale @ 1:50



First Floor Plan as Proposed
Scale @ 1:50

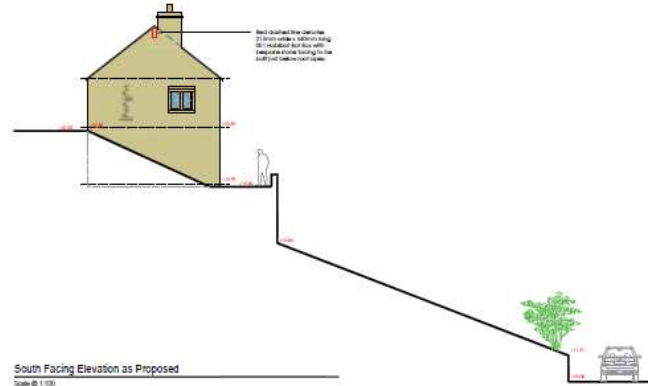


Ground Floor Plan as Proposed
Scale @ 1:50

Elevations



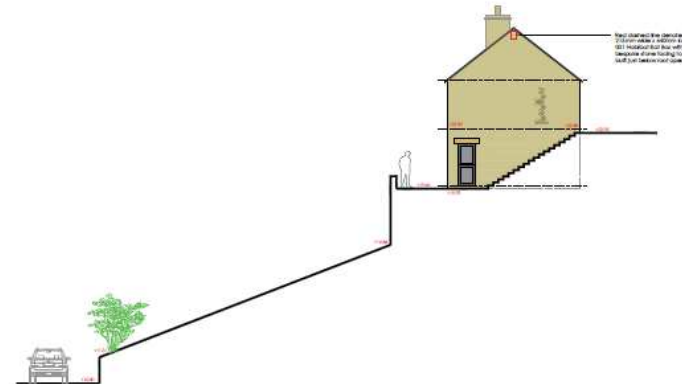
West Facing Elevation as Proposed
Scale @ 1:100



South Facing Elevation as Proposed
Scale @ 1:100



East Facing Elevation as Proposed
Scale @ 1:100



North Facing Elevation as Proposed
Scale @ 1:100

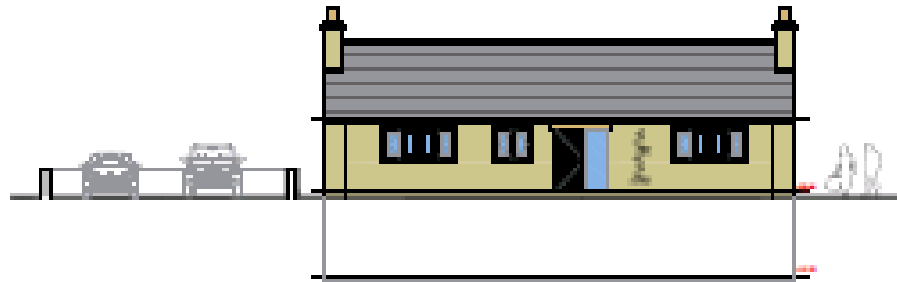
Views towards Stonebreaks Road



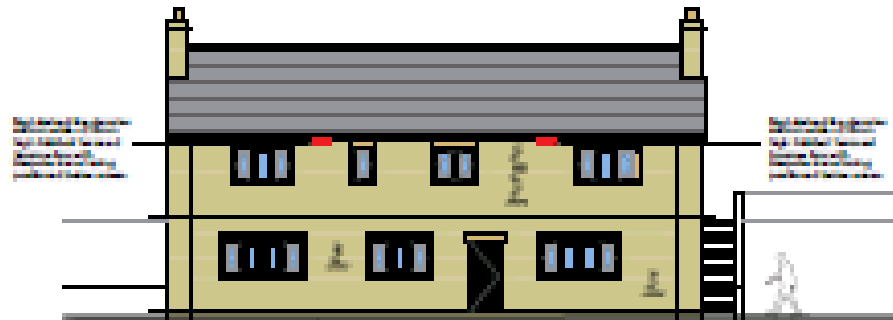
Views of Stonebreaks Road frontage



Proposed elevations



East Facing Elevation as Proposed
1/11/20



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APPLICATION REPORT - PA/344412/20

Planning Committee, 21 May, 2020

Registration Date: 30/01/2020
Ward: Alexandra

Application Reference: PA/344412/20
Type of Application: Full Planning Permission

Proposal: Demolition of existing ancillary buildings and glasshouses with phased replacement of new facilities including erection of 2 storey office building (Use Class B1), new glasshouse structure (horticultural use), remodelling and extension of existing portal frame storage unit, hard and soft landscaping works and amended parking and servicing layout

Location: Alexandra Park Depot, Kings Road, OLDHAM, OL8 2BN

Case Officer: Dean Clapworthy

Applicant Agent : Oldham Council
Walker Simpson Architects

THE SITE

The proposal relates to the existing Oldham Council depot located in the south-east corner of Alexandra Park, which is designated Grade II* listed in the Register of Parks and Garden of Special Historic Interest in England and a Conservation Area. The site presently accommodates a number of office buildings, glasshouses, an open-sided storage shed, shipping/storage containers and associated horticultural paraphernalia, service roads and vehicle parking areas and there is a community growing hub with raised beds and polytunnel. There are two vehicular accesses into the site from Kings Road.

The site rises steeply at the northern end to the Park Offices occupying the original Gardener's Cottage and entrance into the wider park, and less so to the eastern boundary. All boundaries to the site contain robust vegetation and a mix of fencing types, including wrought iron railings to Kings Road. There are listed buildings/structures to the north of the site, the closest of which are the conservatory (Grade II) and the observatory (Grade II).

Nearest dwellings are some distance to the south of the site.

THE PROPOSAL

The aspiration for the proposal is for this area to play a greater role in the day to day operations of the park and encourage interaction with the public through a range of community initiatives with a focus on mental and physical health.

The proposal comprises the following principal elements, following demolition of the existing offices, ancillary buildings and glasshouses:

- A two storey office building (Use Class B1) providing office accommodation and associated welfare facilities positioned adjacent to the south-east boundary to Kings Road. It would have a maximum height of 9.8m and footprint of 32m x 21m. It would have a multi-ridged roof (with parallel mounted photovoltaic panels , with significant glazing to elevations and horizontal screening elements. To be finished with a rendered base and metal sheeting to walls and roof;
- New glasshouse structure for horticultural use positioned centrally within the site. It would have a maximum height of 5.5m and footprint of 52.3m x 24.3m;
- Remodelling and extension of existing portal frame storage unit by extending either end

of the building to the same profile as the existing. It would have energy and resource saving features integrated, including a photovoltaic array to the roof, a biomass boiler and rainwater harvesting;

- Hard and soft landscaping works;
- Amended parking and servicing layout via retained access points from the adopted highway. Parking spaces would be increased at the site for all vehicle types and users.

The arrangement of the buildings and servicing areas would be re-configured to clearly separate Council service vehicles from staff and visitors. All new buildings would be located within the level lower area of the depot.

Operating hours would remain the same as at present between 07.00 to 18.30 daily.

RELEVANT HISTORY OF THE SITE:

None relevant

RELEVANT PLANNING POLICIES & GUIDANCE

The 'Development Plan' is the Joint Core Strategy & Development Management Policies Development Plan Document (DPD) which forms part of the Local Plan for Oldham.

The site falls within the Alexandra Park Conservation Area and is also a Registered Park and Garden and a Green Corridor and Link as identified on the Proposals Map pertaining to the Local Plan. The following policies are relevant to the determination of this application.

Joint Development Plan Document (DPD)

Policy 1: Climate Change and Sustainable Development
Policy 5: Promoting Accessibility and Sustainable Transport Choices
Policy 6: Green Infrastructure
Policy 9: Local Environment
Policy 18: Energy
Policy 19: Water and Flooding
Policy 20: Design
Policy 21: Protecting Natural Environmental Assets
Policy 24: Historic Environment

Saved Unitary Development Plan Policies

Policy D1.5: Protection of Trees on Development Sites

National Guidance

National Planning Policy Framework (NPPF)

CONSULTATIONS

| | |
|---------------------------------|---|
| Highway Officer | No objection, subject to conditions relating to parking and secure cycle storage spaces. |
| United Utilities | No objection. An updated response will be provided at Committee. |
| GM Police | No objection, subject to a condition to reflect the physical security specifications set out in the Crime Impact Statement and agreement of amended security lighting measures. |
| Greater Manchester Ecology Unit | No objection, subject to conditions requiring further bat survey work, protection of nesting birds and badgers, containment/eradication of invasive species and biodiversity enhancement. |
| Environment Agency | No objection |

| | |
|----------------------|--|
| LLFA | No objection |
| Tree Officer | No objection, subject to condition requiring the implementation of the planting plan and specification |
| Environmental Health | No objection, subject to conditions relating to landfill gas and land contamination. |
| The Garden Trust | No objection |

REPRESENTATIONS

The application has been advertised by Press and Site Notice. No representations have been received.

PLANNING CONSIDERATIONS

The main issues to consider are:

- Principle of development
- Design and amenity (including impacts upon heritage assets)
- Access and highway safety
- Other matters (Contaminated land, drainage, ecology and trees, energy)

Principle of development

The proposal relates to the existing Council depot that contains offices, horticultural and storage buildings and associated structures. The replacement of these with alternative buildings for the same uses is therefore acceptable in principle.

Design and amenity (including impacts upon heritage assets)

DPD Policy 9 'Local Environment' states that it is necessary to consider how a proposed development impacts on the visual appearance of the existing building. DPD Policy 20 requires such proposals to respond positively to the environment, contribute to a distinctive sense of place, and make a positive contribution to the street scene. DPD policy 24 states that development within the affecting the setting of a listed building or structure or a conservation area must serve to preserve or enhance its special interest and its setting, character or appearance of the area.

NPPF paragraph 194 states that any harm to, or loss of, the significance of a designated heritage asset should require clear and convincing justification. NPPF paragraph 196 states that where development proposals will lead to less than substantial harm to the significance of designated heritage assets, this harm should be weighed against the public benefit of the proposal.

The proposal relates to the existing depot that has evolved in a haphazard manner over time. It contains an array of ad-hoc buildings and structures, such as shipping containers and rather utilitarian low rise office buildings that do not positively contribute to the character and appearance of the park. However, the depot has a robust landscaped boundary and is not widely visible beyond the depot itself.

The proposed development would rationalise the number of buildings across the depot site and refresh the appearance of what is presently an amalgamation of disparate utilitarian buildings. The proposed buildings are contemporary in design and appropriate to the individual function of the building. They would be of a higher quality than the buildings they are proposed to replace and would therefore enhance the appearance of the site in general terms.

Whilst the proposed new office and glasshouse would be higher than those they would be replacing, the submitted Heritage Statement notes that the change in level between the park and the depot and the existing screen of trees is sufficient that the proposals, as demonstrated in the proposed site sections, would have a minimal / negligible impact on key views and would not therefore have a negative effect on the historic character of Alexandra

Park, nearby listed buildings and the setting and appearance of the conservation area. However, this would be conditional on material colours/details, which should be subtle and unimposing.

The Garden Trust supports this assessment.

Thus overall, the development would cause less than substantial harm to the noted heritage assets. However, this harm is justified and outweighed by the public benefit of providing high quality buildings with defined public and private spaces, including the incorporation of a visitor area, within an improved setting.

Given the above, the proposal would comply with the above policies and the NPPF.

Access and highway safety

DPD Policy 5 states that the Council will ensure the safety of pedestrians, cyclists and other vulnerable road users by ensuring appropriate highway safety measures and schemes are implemented as part of development proposals. Policy 9 states that local environmental quality and amenity will be protected and/or improved by ensuring development minimises traffic levels and does not harm the safety of road users. The NPPF states that development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

The Highway Officer notes that the Transport Assessment has shown that the additional traffic movements would not be significant and would have little effect on the local highway network. Parking provision across the site would be appropriate (increasing the number of spaces), and there are opportunities for visitors and staff to travel to the site using more sustainable modes of transport than the private car.

The proposal would not therefore have any unacceptable impacts upon highway safety.

Other matters

Ground Conditions

The Environmental Health Officer has confirmed that it would be appropriate to require the development to be implemented in accordance with the submitted Site Investigation Report.

Drainage

The Lead Local Flood Authority does not object to the proposal subject to implementation in accordance with the recommendations of the Flood Risk Assessment.

Ecology and trees

The GMEU notes that no significant ecological issues were identified by the developer's ecological consultant and that issues relating to bats, badgers, nesting bird, invasive species and landscaping can be resolved via condition.

The Council's Tree Officer considers that the proposal has been designed with tree retention and protection having been duly considered and that the felling/pruning works required are reasonable and necessary to facilitate this development. The proposed planting plan details an appropriate level and type of replanting that would provide adequate mitigation and should enhance and improve the site as a whole.

Energy

The proposal is required to achieve the energy efficiency targets indicated in DPD Policy 18. The proposal would incorporate significant energy efficiency features which would achieve significant savings. A condition should be attached to secure such savings.

Security

GM Police have agreed that given the unique nature of the development (environmental, ecological and heritage interests) a reduced/low lighting level strategy would be acceptable,

despite the recommendations of the Crime Impact Statement. This can be agreed by condition.

Conclusion

The proposed development would deliver a major redevelopment scheme at a previously developed site. Subject to appropriate conditions the proposal would not have any unacceptable adverse impacts on heritage interests, visual, neighbouring and general amenity, traffic and highway safety, ecology and biodiversity, drainage and would not be at risk from contamination or be at a security risk. It would also deliver energy efficiency benefits.

The proposal therefore complies with the relevant Oldham Local Plan policies and the NPPF.

RECOMMENDATION

Approve, subject to the following conditions:

1. The development must be begun not later than the expiry of THREE years beginning with the date of this permission.

Reason - To comply with the provisions of the Town & Country Planning Act 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. The development hereby approved shall be fully implemented in accordance with the following approved plans:

Location Plan (Drawing No. 0372-WSA-ZZ-ZZ-DR-A-1001-S4-P03)

Site Plan (Proposed) (Drawing No. 0372-WSA-ZZ-ZZ-DR-A-1501 S4 P05)

Proposed Roof Plan (Office) (Drawing No. 0372-WSA-03-03-DR-A-1604 S4 P04)

Proposed Floor Plan (Office) (Drawing No. 0372-WSA-03-ZZ-DR-A-1603 S4 P05)

Proposed Elevations (Office) (Drawing No. 0372-WSA-03-ZZ-DR-A-1703 S4 P05)

Proposed Floor Plan (Portal Frame) (Drawing No. 0372-WSA-01-ZZ-DR-A-1601-S4-P04)

Proposed Elevations (Portal Frame) (Drawing No. 0372-WSA-01-ZZ-DR-A-1701-S4-P03)

Proposed Elevations (Glasshouse) (Drawing No. 0372-WSA-02-ZZ-DR-A-1702-S4-P03)

Proposed Floor Plan (Glasshouse) (Drawing No. 0372-WSA-02-ZZ-DR-A-1602-S4-P04)

Context Elevations (Proposed) (Drawing No. 0372-WSA-ZZ-ZZ-DR-A-1502-S4-P02)

Landscaping Planting Proposals (Drawing No. 1705/P/01)

Proposed FW/SW Drainage (Drawing No. 60614273-AP-050-001 P2)

Proposed Vehicle Access (Drawing No. 60614273-AP-SK P1)

Reason - For the avoidance of doubt and to ensure that the development is carried out in accordance with the approved plans and specifications.

3. The development shall only be carried out in full accordance with the approved remediation proposals outlined in the 'Remediation Strategy & Verification Plan' dated

29 January 2020 (Report No. 3552/02 Issue 2). Should, during the course of the development, any contaminated material other than that referred to in the investigation and risk assessment report and identified for treatment in the remediation proposals be discovered, then the development should cease until such time as further remediation proposals have been submitted to and approved in writing by the Local Planning Authority, and the approved measures shall be implemented in full.

Reason - To protect the environment and prevent harm to human health having regard to Policy 9 of the Oldham Local Plan.

4. Prior to any part of the development hereby approved being occupied, a verification report demonstrating the completion of works set out in the 'Remediation Strategy & Verification Plan' dated 29 January 2020 (Report No. 3552/02 Issue 2) and the effectiveness of the remediation shall be submitted to, and approved in writing, by the local planning authority. The report shall include results of sampling and monitoring carried out in accordance with the approved verification plan to demonstrate that the site remediation criteria have been met.

Reason - To ensure that the site does not pose any further risk to human health or the water environment having regard to Policy 9 of the Oldham Local Plan.

5. The development hereby approved shall be implemented in accordance with the conclusions and recommendations detailed in the flood risk assessment by WSP and dated January 2020. For the avoidance of doubt, the finished floor levels of the buildings shall be:
 - Glasshouse: 166.75 metres above ordnance datum (AOD)
 - Portal Frame Building: 167.22 metres AOD
 - Office: 166.09 metres AOD

Reason - To promote sustainable development, secure proper drainage and to manage the risk of flooding and pollution having regard to Policy 19 of the Oldham Local Plan.

6. No development comprising the erection of any external walls shall take place until details of the materials to be used in the construction of the external surfaces of the development, including the roof, have been submitted to and approved in writing by the Local Planning Authority. The Development shall be carried out in accordance with the approved details. The materials to be used throughout the development shall be consistent in terms of colour, size and texture with the approved details.

Reason - To ensure that the appearance of the development is acceptable in the interests of the visual amenity of the area having regard to Policy 20 of the Oldham Local Plan.

7. All hard and soft landscape works shall be carried out in accordance with the approved plan (Drawing No. 1705/p/01) and a phasing programme that shall be agreed in writing with the local planning authority prior to the erection of any building. Thereafter, any trees or shrubs which die, are removed or become seriously damaged or diseased within a period of five years from the completion of the development shall be replaced in the next planting season with others of a similar size, number and species to comply with the approved plan unless otherwise agreed in writing by the Local Planning Authority.

Reason - To ensure that the landscaping scheme is carried out and protected in the interests of visual amenity and to safeguard the future appearance of the area having regard to Policies 9, 20 and 21 of the Oldham Local Plan, and saved Policy D1.5 of the Unitary Development Plan.

8. No development comprising the erection of any external walls of the glasshouse or office hereby approved shall take place until details of earthworks have been submitted to and approved in writing by the Local Planning Authority. These details shall include the proposed grading and mounding of land areas including the levels and contours to be formed, showing the relationship of proposed mounding to existing and proposed vegetation/landscaping and surrounding landform. The development shall thereafter be carried out in accordance with the approved details.

Reason - To protect visual amenity and the character of the area and to ensure a satisfactory environment having regard to Policies 9 and 20 of the Oldham Local Plan.

9. The development hereby approved shall not be occupied until the car parking spaces have been provided in accordance with the approved plan (Drawing No. 0372-WSA-ZZ-ZZ-DR-A-1501-S4-P05). Thereafter the parking spaces and turning area shall not be used for any purpose other than the parking and manoeuvring of vehicles.

Reason - To ensure adequate off-street parking facilities are provided and remain available for the development so that parking does not take place on the highway to the detriment of highway safety having regard to Policies 5 and 9 of the Oldham Local Plan.

10. Prior to the first occupation of any building hereby approved a scheme for the provision of secure cycle parking shall be implemented in accordance with details which shall have previously been submitted to and approved in writing by the local planning authority. The approved facility shall remain available for users of the development thereafter.

Reason - In order to promote sustainable means of travel having regard to Policies 5 and 9 of the Oldham Local Plan.

11. Any demolition of building 7 as identified in the extended phase 1 Habitat Survey & Daytime Bat Survey by Rachel Hacking Ecology that would take place between the 1st March and 31st October in any year should be immediately preceded by precautionary bat emergence surveys, the findings of which shall be submitted to and approved in writing by the Local Planning Authority prior to any demolition works.

Reason - To ensure the protection of species of ecological interest having regard to Policy 21 of the Oldham Local Plan, and to the Wildlife and Countryside Act 1981.

12. Prior to commencement of earthworks, a survey of the site and the areas of Alexandra Park within 30m of the boundary (of the site) for badger setts shall be undertaken. If badgers are found to be present within the survey area, a reasonable avoidance method statement should also be undertaken and with the badger survey shall be submitted to and approved in writing by the Local Planning Authority. Thereafter, earthworks shall be undertaken in full accordance with the approved reasonable avoidance measures.

Reason - To ensure the protection of badgers, which are protected species under the Wildlife and Countryside Act 1981 having regard to Policy 21 of the Oldham Local Plan.

13. No works to trees shall take place or shrubs or demolition commence between the 1st March and 31st August in any year unless a detailed bird nest survey by a suitably experienced ecologist has been carried out immediately prior to clearance or demolition and written confirmation provided that no active bird nests are present which has been agreed in writing by the Local Planning Authority.

Reason - To ensure the protection of birds, which are protected species under the Wildlife and Countryside Act 1981 having regard to Policy 21 of the Oldham Local

Plan.

14. Prior to any earthworks, a method statement detailing eradication and/or control and/or avoidance measures for himalayan balsam, rhododendron and Cotoneaster spp shall be submitted to and approved in writing by the Local Planning Authority. Thereafter, the agreed method statement shall be adhered to and implemented in full unless amendments are otherwise approved in writing by the Local Planning Authority.

Reason - To prevent the spread of an invasive species having regard to Policy 21 of the Oldham Local Plan, and to the Wildlife and Countryside Act 1981.

15. Bird nesting provision shall be integrated into the fabric of the buildings or installed upon retained trees prior to the use of any building, in accordance with details that shall have first been submitted to and approved in writing with the Local Planning Authority.

Reason - To ensure the adequate provision of additional bird habitats having regard to Policy 21 of the Oldham Local Plan.

16. The development shall be implemented in accordance with the physical security specifications set out in the Crime Impact Statement dated 14 January 2020 (Report No. 2019/1057/CIS/01 Version A). For the avoidance of doubt, the security lighting shall be implemented in accordance with a scheme that shall be submitted to and approved in writing with the local planning authority prior to installation.

Reason - To create safe and accessible environments where crime and disorder, and the fear of crime, do not undermine quality of life or community cohesion in accordance with Policy 20 of the Oldham Local Plan.

17. No development comprising the construction of the office building shall take place until a detailed energy statement has been submitted to and approved in writing by the Local Planning Authority. The statement shall set out how the development will accord with the Energy Infrastructure Target Framework set out in Oldham Local plan Policy 18 and shall detail how a target area has been determined; and how the development will meet this target.

The development shall be carried out in accordance with the approved scheme phasing arrangements and retained as operational thereafter.

Reason - To ensure that the development accords with the provisions of Policy 18 of the Oldham Local Plan.



NOTES: 1. All dimensions are in meters. 2. All dimensions are to the centerline of the wall unless otherwise stated. 3. All dimensions are to the centerline of the wall unless otherwise stated. 4. All dimensions are to the centerline of the wall unless otherwise stated. 5. All dimensions are to the centerline of the wall unless otherwise stated.

— Area of building
— Site boundary




| | |
|-------------------|----|
| Mr. J. J. Walker | 20 |
| Mr. J. J. Simpson | 20 |
| Mr. J. J. Walker | 20 |
| Mr. J. J. Simpson | 20 |

walker simpson architects

| | |
|---------------------------|----|
| Walker Simpson Architects | 20 |
| Walker Simpson Architects | 20 |
| Walker Simpson Architects | 20 |
| Walker Simpson Architects | 20 |

PLANNING COMMITTEE - BACKGROUND PAPERS

REPORT OF THE HEAD OF PLANNING AND INFRASTRUCTURE

PLANNING AND ADVERTISEMENT APPLICATIONS

The following is a list of background papers on which this report is based in accordance with the requirements of Section 100D (1) of the Local Government Act 1972. It does not include documents, which would disclose exempt or confidential information defined by that Act.

THE BACKGROUND PAPERS

1. **The appropriate planning application file:** This is a file with the same reference number as that shown on the Agenda for the application. It may contain the following documents:
 - The application forms
 - Plans of the proposed development
 - Certificates relating to site ownership
 - A list of consultees and replies to and from statutory and other consultees and bodies
 - Letters and documents from interested parties
 - A list of OMBC Departments consulted and their replies.
2. **Any planning or advertisement applications:** this will include the following documents:
 - The application forms
 - Plans of the proposed development
 - Certificates relating to site ownership
 - The Executive Director, Environmental Services' report to the Planning Committee
 - The decision notice
3. Background papers additional to those specified in 1 or 2 above or set out below.

ADDITIONAL BACKGROUND PAPERS

1. The Adopted Oldham Unitary Development Plan.
2. Development Control Policy Guidelines approved by the Environmental Services (Plans) Sub-Committee.
3. Saddleworth Parish Council Planning Committee Minutes.
4. Shaw and Crompton Parish Council Planning Committee Minutes.

These documents may be inspected at the Access Oldham, Planning Reception, Level 4 (Ground Floor), Civic Centre, West Street, Oldham by making an appointment with the allocated officer during normal office hours, i.e. 8.40 am to 5.00 pm.

Any person wishing to inspect copies of background papers should contact Development Management telephone no. 0161 770 4105.

Planning Committee Meeting 21 May 2020

PA/344412/20: Demolition of existing ancillary buildings and glasshouses with phased replacement of new facilities including erection of 2 storey office building (Use Class B1), new glasshouse structure (horticultural use), remodelling and extension of existing portal frame storage unit, hard and soft landscaping works and amended parking and servicing layout

Alexandra Park Depot, Kings Road, Oldham, OL8 2BN



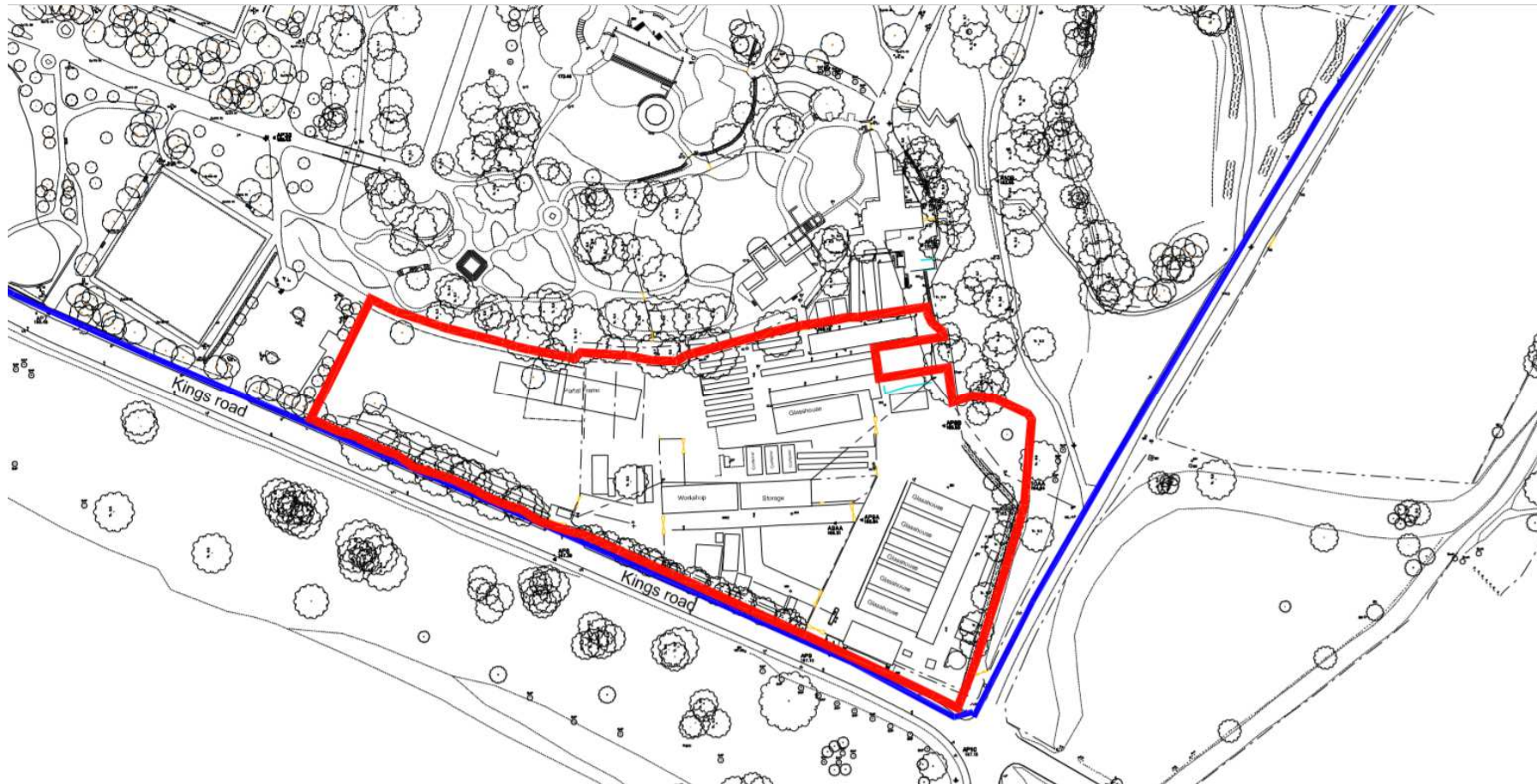
Oldham
Council

Aerial view of site from south-west



Site Location Plan

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Proposed layout

Page 60



Indicative aerial view from south-west

Page 61



Proposed elevations (office)

Page 62



Office - East Elevation
1:100



Office - North Elevation
1:100

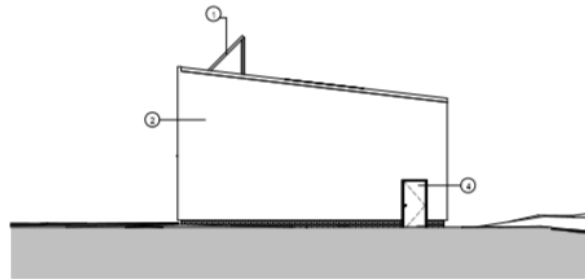


Office - West Elevation
1:100

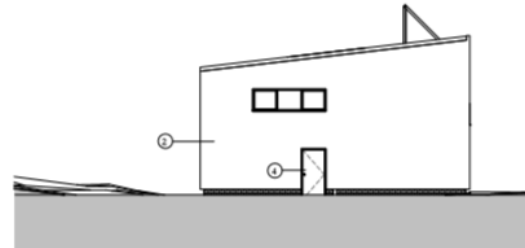


Office - South Elevation
1:100
Proposed layout

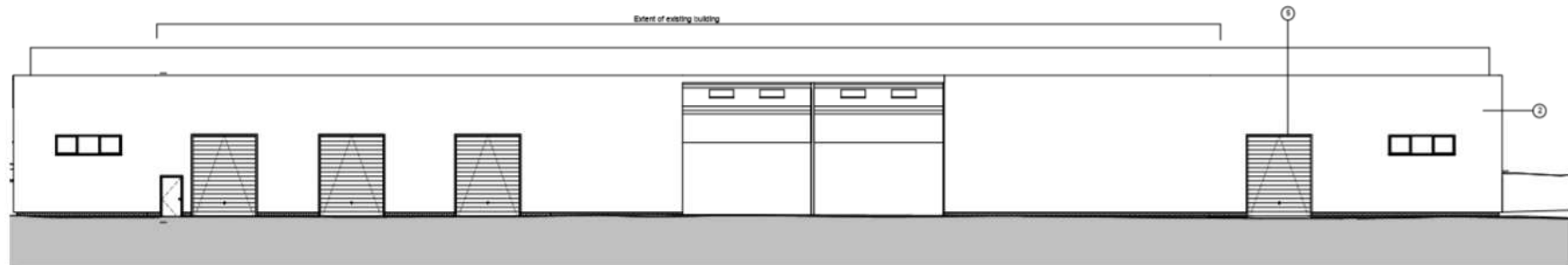
Proposed elevations (portal framed store)



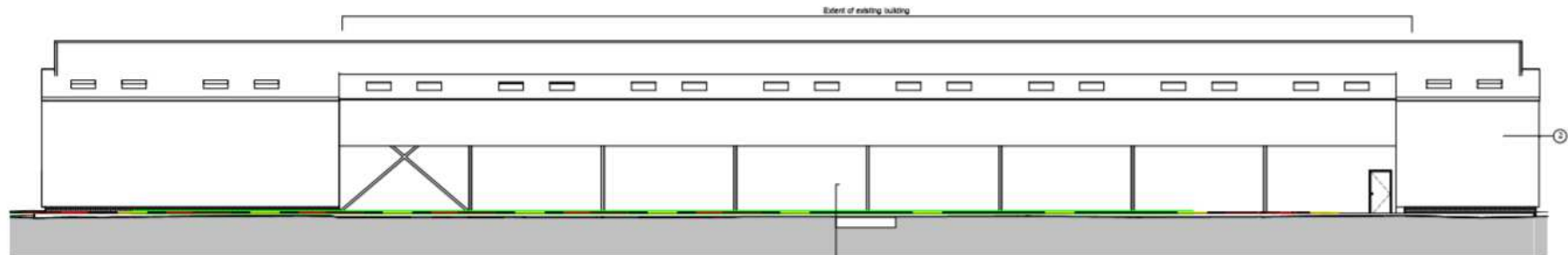
Energy Centre - East Elevation
1:100



Energy Centre - West Elevation
1:100

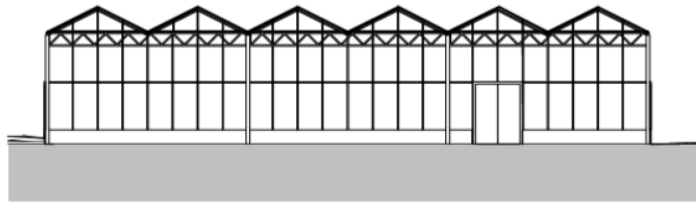


Energy Centre - South Elevation
1:100

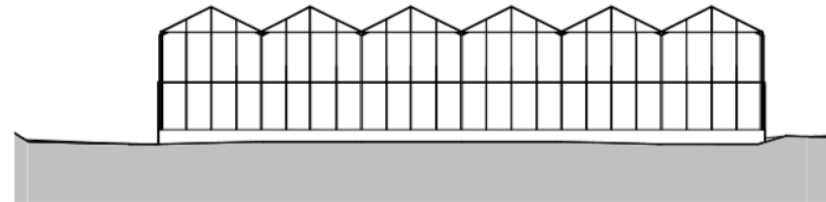


Existing rainwater harvesting tank to be re-located to be considered as part of overall rainwater harvesting design strategy.

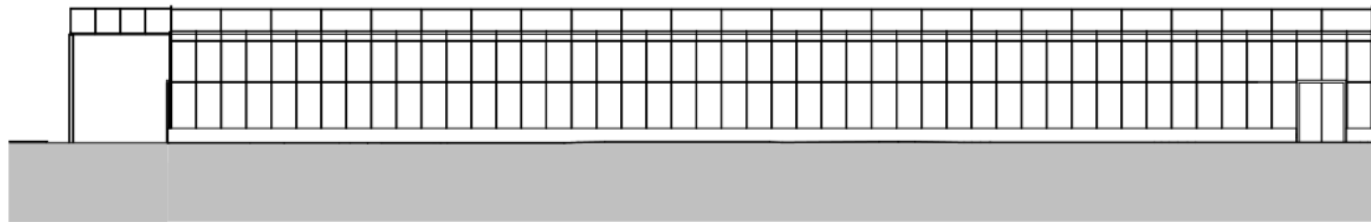
Proposed elevations (glasshouse)



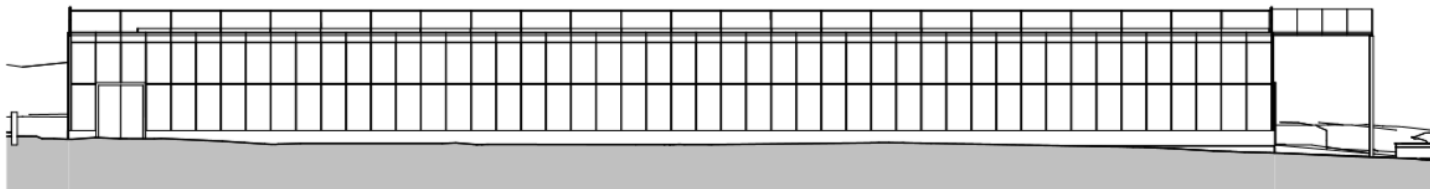
Glasshouse - East Elevation
1 : 100



Glasshouse - West Elevation
1 : 100

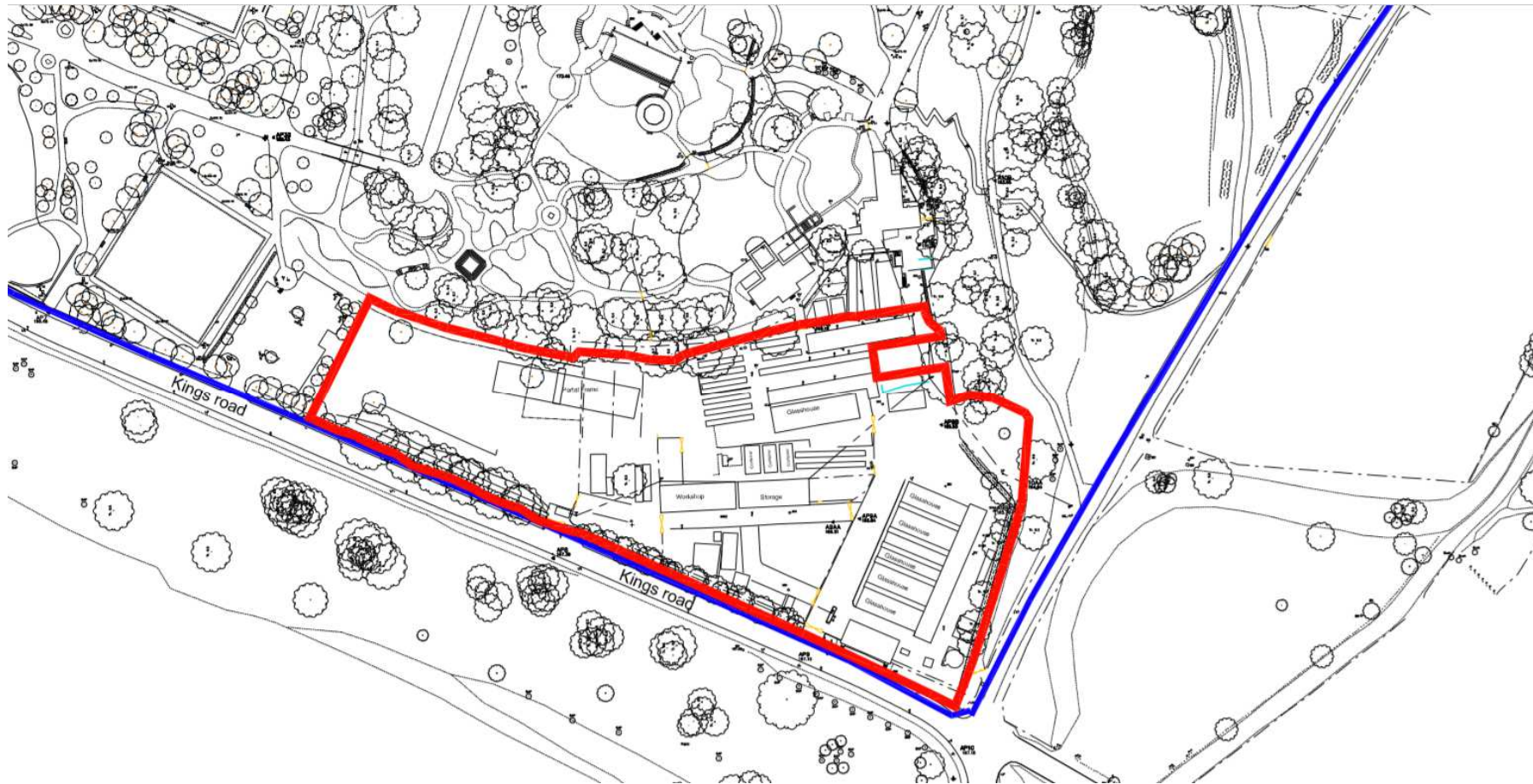


Glasshouse - North Elevation
1 : 100



Site Location Plan

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